

PROPERTY OWNERS
WITHIN 200'

Block	Lot	Owner
117.01	1.03	Harrison Building L Urban Renewal LLC 50 Washington St. Hoboken, NJ 07030
117.01	1.06	GLU R HARR HOLDINGS LLC 50 Washington St. Hoboken, NJ 07030
117.01	1.06 / 0002	Harrison West 1, LLC 50 Washington St. Hoboken, NJ 07030
118	1.01	Harrison Building 3, LLC 50 Washington St. 3rd Floor Hoboken, NJ 07030
133	1.02	Port Authority Trans-Hudson 225 Park Ave. South New York, NY 10003
133	1.03	Accordia Harrison Urban Renewal, LLC 100 Passaic Ave., STE #150 Fairfield, NJ 07004
133	1.04	Accordia Harrison Urban Renewal, LLC 100 Passaic Ave., STE #150 Fairfield, NJ 07004
133	1.05	Accordia Harrison Urban Renewal, LLC 100 Passaic Ave., STE #150 Fairfield, NJ 07004
134.01	8	Aerial 1 Massachusetts Ave NW Washington, DC 20001
134.01	9	Aerial 1 Massachusetts Ave NW Washington, DC 20001
136	1.03	Port Authority Trans-Hudson 225 Park Ave. South New York, NY 10003
136	1.05	National RR Corp. (Amtrak) 308 St. Julian, 4th Philadelphia, PA 19104
136	1.06	Port Authority Trans-Hudson 225 Park Ave. South New York, NY 10003
136	1.07	1 Super LLC Realty, LLC 433 Bergen Ave. Jersey, NJ 07002
136	3	Aerial 1 Massachusetts Ave NW Washington, DC 20001
150	16.01 / 0001	All at Harrison LLC 1430 Sava Hwy #205 Bedfordview, NJ 30305
150	16.01 / 0002	ABC CREDITORS LUM & EHRH, LLC NAR 3500 Anderson Rd NE #410 Atlanta, GA 30305
150	16.01 / 0002	All at Harrison LLC 1041 S Highway 202/206 Bridgeview, NJ 08807
152	1.01	Aerial 1 Massachusetts Ave NW Washington, DC 20001
153.01	31	Port Authority 225 Park Ave. South New York, NY 10003
154	36.01	Corral 1717 Arch St. 13th Floor Philadelphia, PA 19103
154	38	Corral 1717 Arch St. 13th Floor Philadelphia, PA 19103
167	38	Corral 1717 Arch St. 13th Floor Philadelphia, PA 19103
189.02	122.01	Corral 1717 Arch St. 13th Floor Philadelphia, PA 19103
213	5.04	Port Authority 1 Riverfront Plaza, Suite 327 Newark, NJ 07102
213	6	Aerial 1 Massachusetts Ave NW Washington, DC 20001
213	6.01	Town of Harrison 318 Harrison Ave. Harrison, NJ 07029

Zoning Requirements: Mixed Use Area

Permitted Use: Retail, Multifamily Residential, Office, Restaurants, Movie Theater/Entertainment, Financial Institutions, Fitness Centers, Wellness Centers, Childcare, Hotels, Parks, Public Uses, Structured Parking.

Permitted Accessory Use: Laundry, Gym, Parking, Signage, Outdoor dining, Plazas, Parks, Public Spaces, Lobbies, Tenant Storage, Management/Leasing Office

	Required	Proposed Lot 1.03	Complies	Proposed Lot 1.05	Complies
Setbacks:	Min: 0 FT ⁽¹⁾ Max: 10 FT ⁽¹⁾	> 10 FT	No*	> 10 FT	No*
Building Height:	4-30 Stories	26 Stories	Yes	17 Stories	Yes
Retal Facade:	Min. 80% of Street Frontage at Ground Floor at Frank E. Rodgers Boulevard	100%	Yes	N/A	N/A
Retail Depth	Min. Unit Depth: 40 FT	10.666 FT	No*	187 FT	Yes

* Variance Required

Proposed Signage: Freestanding signs are prohibited in the Mixed Use District, therefore, a variance is required for the proposed Sign Tower* and the proposed Pylon Sign*.

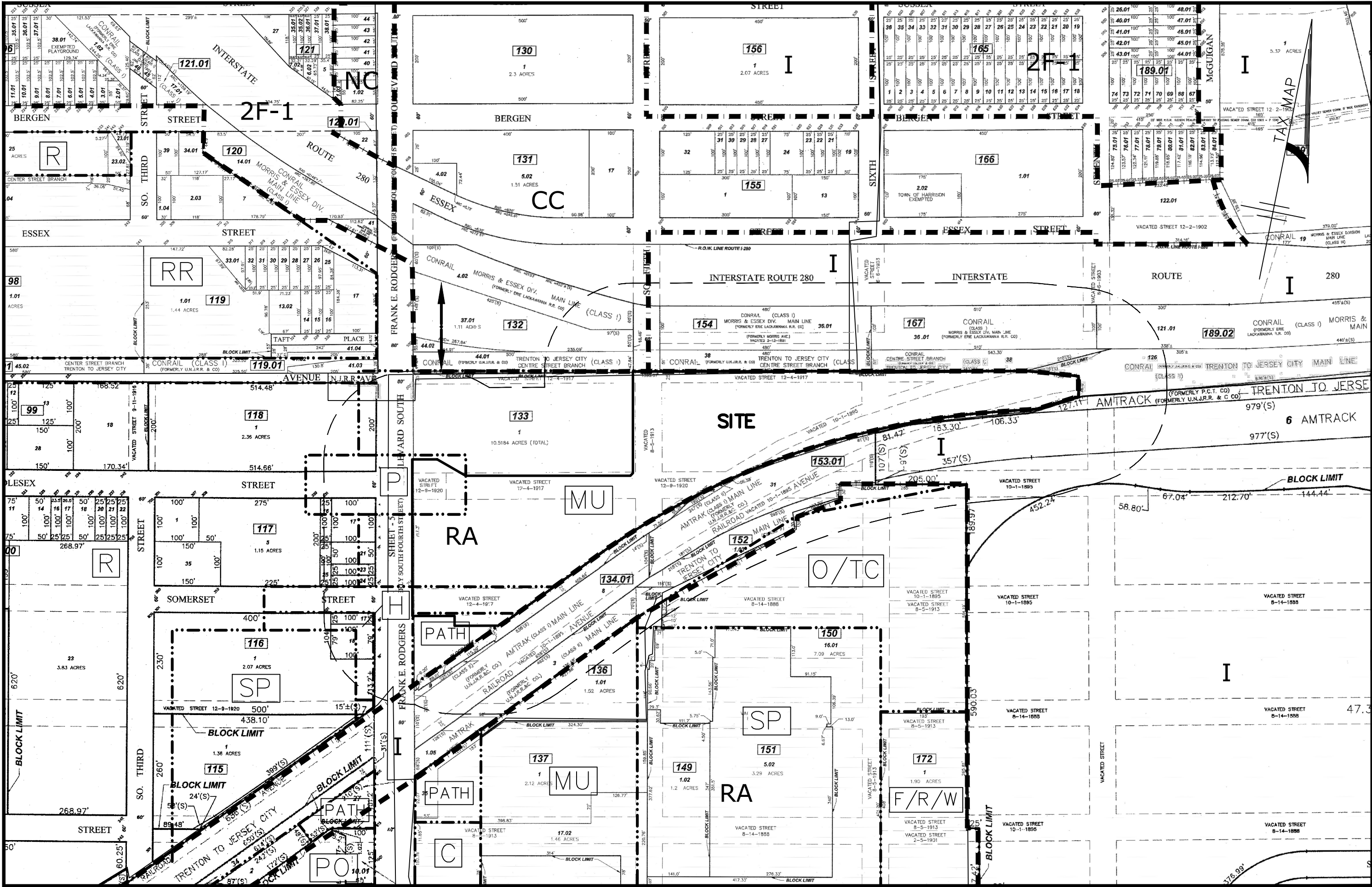
UTILITY CONTACTS

Utilities
Public Service Electric & Gas Co. (PSE&G) Manager Corporate Properties 80 Park Plaza, 16th Newark, NJ 07102
Verizon 540 Broad Street Newark, NJ 07102
Pasaic Valley Water Commission 1525 Main Avenue, PO Box 230 Clifton, NJ 07011
Connecticut Collection of New Jersey 800 Railway Avenue Union, NJ 07083
Town of Harrison Water Department 600 Essex Street Harrison, NJ 07029
County of Hudson Thomas A. DeGine, County Executive 583 Newark Ave Jersey City, NJ 07306
Hudson County Department of Engineering and Planning 595 County Avenue Secaucus, NJ 07094
The Port Authority of New York and New Jersey, Newark Legal Center Office of the New Jersey Solicitor One Riverfront Plaza, Suite 327 Newark, NJ 07102
City of Newark City Hall 930 Broad St. Newark, NJ 07102
Borough of East Newark 34 Sherman Avenue East Newark, NJ 07029
Town of Kearny 402 Kearny Avenue Kearny, NJ 07032
Harrison Redevelopment Agency 600 Essex Street Harrison, NJ 07029

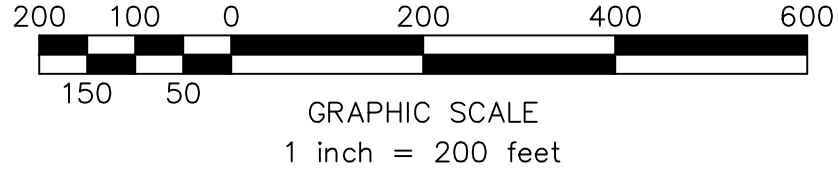
SHEET INDEX

No.	Description	Revision	Date
1.	TITLE SHEET		04/14/20
2.	EXISTING CONDITIONS PLAN		04/14/20
3.	PHASING PLAN		04/14/20
4.	OVERALL LAYOUT PLAN		04/14/20
5.	GEOMETRY, SIGNAGE & STRIPING PLAN		04/14/20
6.	GEOMETRY, SIGNAGE & STRIPING PLAN		04/14/20
7.	GRADING PLAN		04/14/20
8.	GRADING PLAN		04/14/20
9.	ADA RAMP GRADING PLAN		04/14/20
10.	UTILITY PLAN		04/14/20
11.	UTILITY PLAN		04/14/20
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16.	LANDSCAPING PLAN		04/14/20
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21.	CONSTRUCTION DETAILS		04/14/20

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOTS 1.03 & 1.05, TAX MAP SHEET 16
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY



KEY MAP



LEGEND

- INDICATES ZONE BOUNDARY
- INDICATES ZONE I.D.
- WATERFRONT REDEVELOPMENT DISTRICT BOUNDARY
- WATERFRONT REDEVELOPMENT DISTRICT

Parking Schedule - Phases I & II:

Required	Redevelopment Plan
Residential:	1,107 Units @ 1/Unit = 1,107 spaces
Retail (Building A):	8,495 SF @ 1/1,000 SF = 9 spaces
Retail (Building B):	58,106 SF @ 1/1,000 SF = 59 spaces
Office (Building B):	72,420 SF @ 1/1,000 SF = 73 spaces
Retail (Building C):	74,183 SF @ 1/1,000 SF = 75 spaces
Hotel:	200 Rooms @ 1/Room + 7,969 SF @ 1/1,000 SF = 208 spaces
Total =	1,531 spaces required

Provided:	
Lot 1.03 =	17 surface + 648 automated = 665 spaces (17 Compact, 3 of which are Electric spaces)
Lot 1.04 =	177 spaces (31 Compact)
Lot 1.05 =	114 surface + 571 automated = 685 spaces (11 Compact & 6 Electric spaces)
Angelo Cifelli Drive =	12 spaces
Fifth Street =	10 spaces
Total =	1,549 spaces proposed

Parking Schedule - Phase II Only:

Required	Redevelopment Plan
Residential:	898 Units @ 1/Unit = 898 spaces
Bldg B (Retail & Commercial):	130,526 SF @ 1/1,000 SF = 132 spaces
Bldg C (Retail):	74,183 SF @ 1/1,000 SF = 75 spaces
Hotel:	200 Rooms @ 1/Room + 7,969 SF @ 1/1,000 SF = 208 spaces
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Lot 1.05 =	115 surface + 571 automated = 685 spaces (11 Compact & 6 Electric spaces)
Total =	1,350 spaces proposed

Notes:

- As per N.J.A.C. 5:21-4.14(c) alternative parking standards shall be accepted to better reflect local conditions (Mass Transit/Urban). Parking is provided in compliance with the Redevelopment Plan Standards which have been established based on location conditions and proven demand with prior/similar projects.
- A deminimis exception from the Residential Site Improvement Standards (N.J.A.C. 5:21-4) related to parking space sizes whereas 9'x18" is required and 8.5'x18" is proposed.
- 20% of the total spaces may be compact (min. 8'x15').
- 2% of the total spaces provided shall be handicap accessible.

General Notes:

- Applicant/Owner: Accordia Harrison Urban Renewal, LLC
100 Passaic Avenue, #150
Fairfield, NJ 07004
- Project site known and designated as Lot 1, Block 133 within the Town of Harrison, New Jersey as shown on the current tax assessment map - sheet 16, containing a total of 10.5 acres and is located entirely within the Mixed Use District of the Waterfront Redevelopment Plan. Property has since been subdivided but the tax map has not been officially updated.
- Lot information and topography based upon survey entitled "ALTA/NSPS Land Title Survey, Lots 1.03, 1.04 & 1.05; Block 133, 600-798 Frank E. Rodgers Boulevard, situated in the Town of Harrison, Hudson County, New Jersey, revised 10/19/18," prepared by MidAtlantic Engineering Partners.
- Site coordinates: 695,135' N, 588,069' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- Based on NIDEP GIS review, no wetlands or wetland transition areas exist on-site (site previously fully developed).
- The site is located within Flood Zone AE (EL 9), Zone X (areas of the 0.2% annual chance of flood), and Zone X (areas outside of the 0.2% annual chance of flood) according to FEMA Flood Insurance Rate Map number 340017C0082D, having an effective date of August 16, 2006. This property is also located in Zone AE (EL 10), and Zone X (areas of the 0.2% annual chance of flood) according to FEMA's NJ Preliminary Flood Insurance Rate Map of Hudson County - Panel 082, released December 20, 2013.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is required to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design or constructability.
- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation, and/or excavations. Investigations, such as performing test pits, shall be completed to the satisfaction of the contractor as necessary to confirm the location of existing utilities.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- The contractor shall notify the Soil Conservation District, all utility companies, and the Town of Harrison in a sufficient amount of time in advance (min. 72 hours) of the start of any construction work.
- Contractor to provide traffic control plans to Hudson County at time of road opening permit application.
- All construction to be in accordance with "NJDOT Standard Specification for Road and Bridge Construction," latest edition. All signage to be in accordance with the "Manual on Uniform Traffic Control Devices (MUTCD)."

APPROVED BY THE TOWN OF
HARRISON PLANNING BOARD

APPROVED BY THE HUDSON
COUNTY PLANNING BOARD

BOARD CHAIR DATE

ENGINEER DATE

SECRETARY DATE

PLANNER DATE

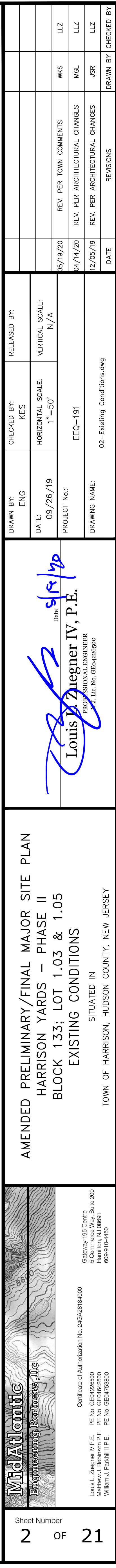
ENGINEER DATE

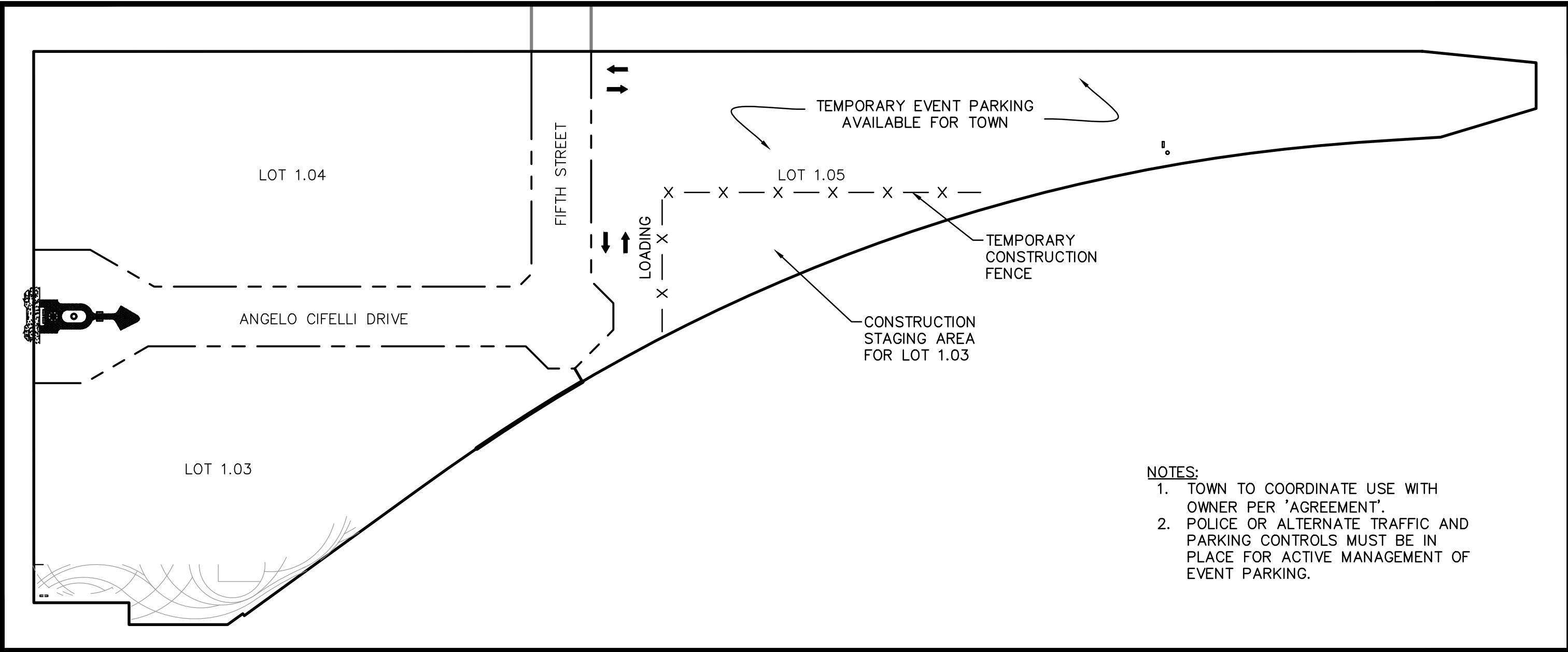
DATE

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
TITLE SHEET

MidAtlantic
Engineering & Planning, LLC
100 Passaic Avenue, #150
Fairfield, NJ 07004
Louis J. Ziegner V.P.E.
Matthew J. Robinson P.E.
William J. Pender P.E.

Sheet Number
1 OF 21



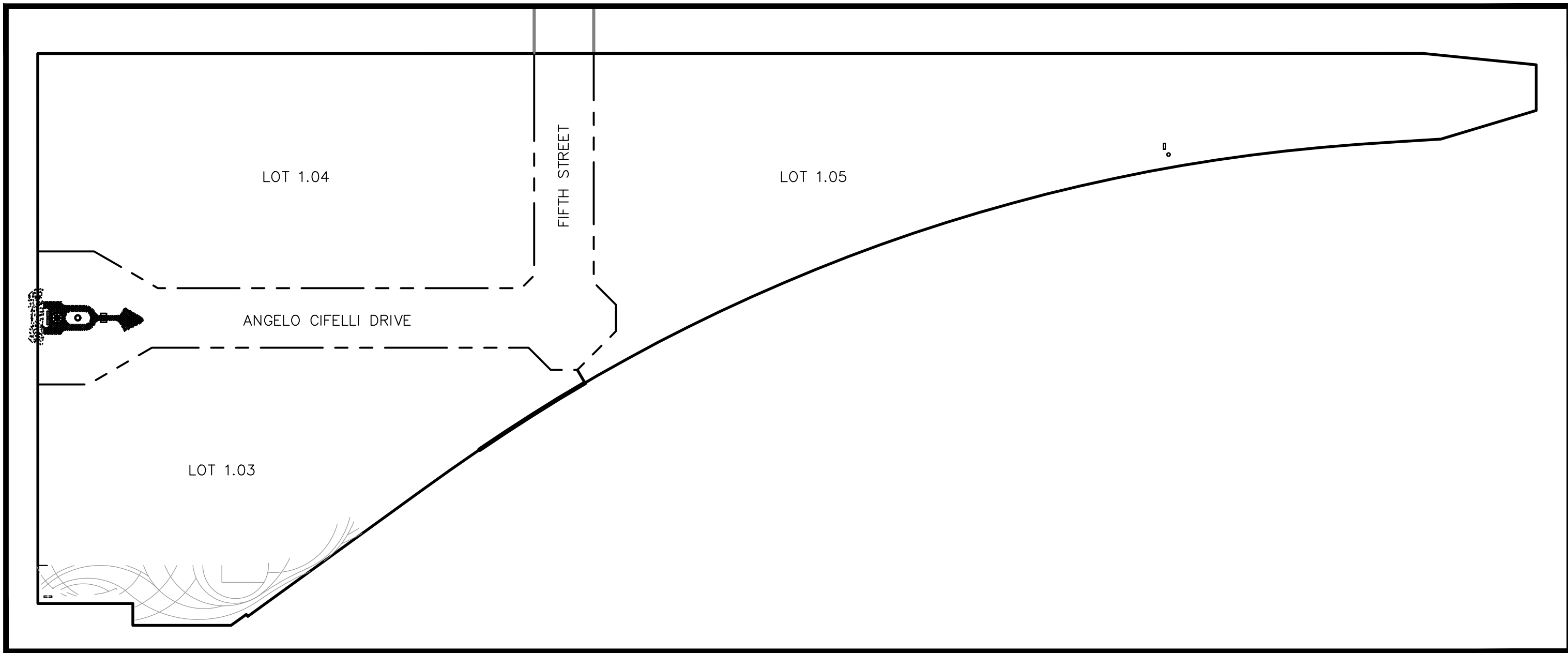
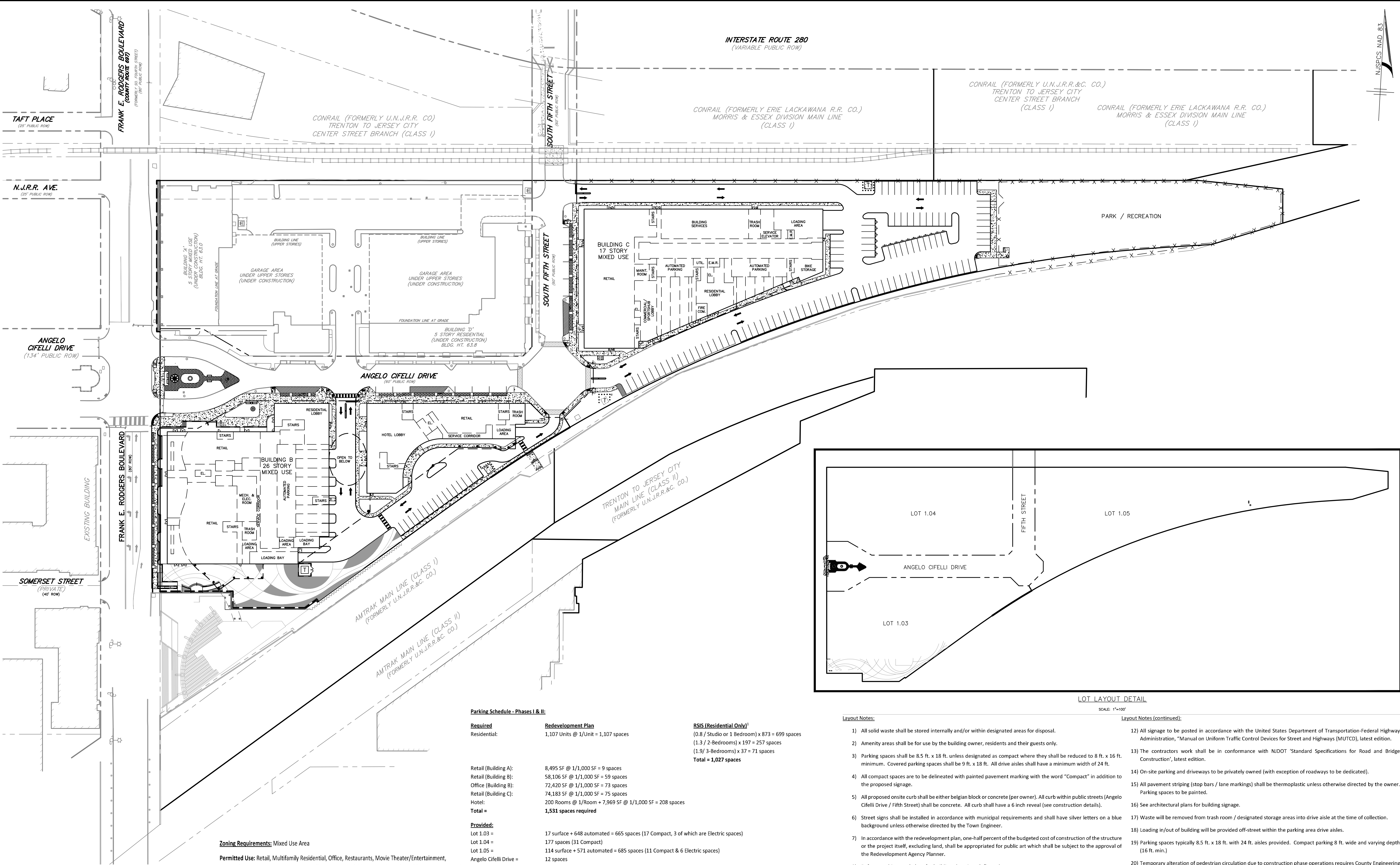


INTERIM PARKING LAYOUT DETAIL

40 20 0 50 100 150

50 30 10

GRAPHIC SCALE
1 inch = 50 feet



LOT LAYOUT DETAIL

SCALE: 1"=100'

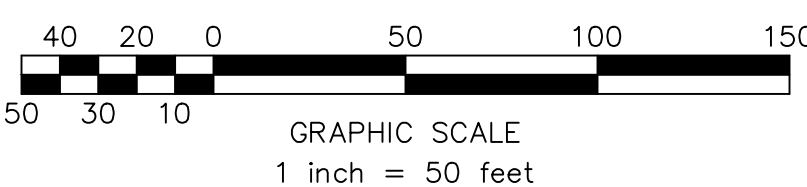
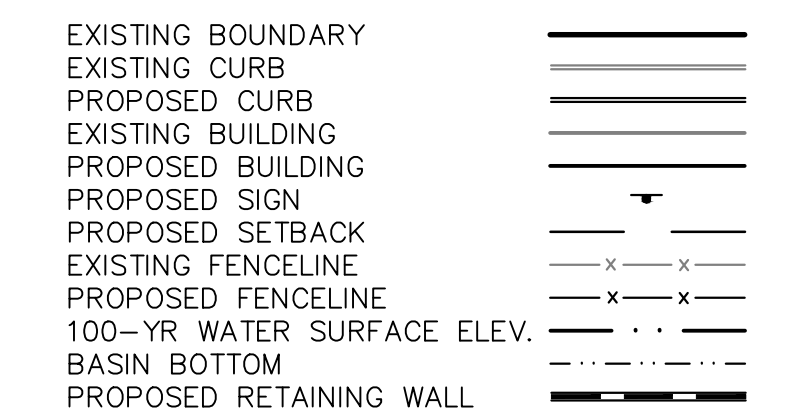
Layout Notes:

- 1) All solid waste shall be stored internally and/or within designated areas for disposal.
- 2) Amenity areas shall be for use by the building owner, residents and their guests only.
- 3) Parking spaces shall be 8.5 ft. x 18 ft. unless designated as compact where they shall be reduced to 8 ft. x 16 ft. minimum. Covered parking spaces shall be 9 ft. x 18 ft. All drive aisles shall have a minimum width of 24 ft.
- 4) All compact spaces are to be delineated with painted pavement marking with the word "Compact" in addition to the proposed signage.
- 5) All proposed onsite curb shall be either belgian block or concrete (per owner). All curb within public streets (Angelo Cifelli Drive / Fifth Street) shall be concrete. All curb shall have a 6 inch reveal (see construction details).
- 6) Street signs shall be installed in accordance with municipal requirements and shall have silver letters on a blue background unless otherwise directed by the Town Engineer.
- 7) In accordance with the redevelopment plan, one-half percent of the budgeted cost of construction of the structure or the project itself, excluding land, shall be appropriated for public art which shall be subject to the approval of the Redevelopment Agency Planner.
- 8) Refer to architectural plans for building elevations & floor plans.
- 9) All connections with existing pavement, curb, sidewalk etc. shall be saw cut.
- 10) Handicap detectable warning strips shall be "replaceable wet-set" or equivalent, Surface mount or "stick on" warning strips are not permitted.
- 11) The contractor shall:
 - a. Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
 - b. Be responsible to maintain the site in a clean and organized manner.
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 - d. Repair any damage to public streets, curbs, sidewalks and utilities as a result of site construction activities.
 - e. Coordinate the construction schedule with the owner prior to start of work.
 - f. Obtain any required road opening permits and perform work in accordance with Town of Harrison requirements.
 - g. Be responsible to provide traffic control including barricades, lighting, signage etc. as may be necessary for completion of the project.
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 - i. Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing test pits as necessary.
 - j. Notify the owner and engineer of any required field change immediately.
 - k. Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
 - l. Only Import certified clean fill (if required) in accordance with NJDEP Technical Requirements N.J.A.C. 7:26E. All imported material requires approval by owner and their environmental consultant prior to placement onsite.

Layout Notes (continued):

- 12) All signage to be posted in accordance with the United States Department of Transportation-Federal Highway Administration, "Manual on Uniform Traffic Control Devices for Street and Highways (MUTCD), latest edition.
- 13) The contractors work shall be in conformance with NJDOT 'Standard Specifications for Road and Bridge Construction', latest edition.
- 14) On-site parking and driveways to be privately owned (with exception of roadways to be dedicated).
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- 21) All work proposed within the County right-of-way will require the applicant to obtain County Road Opening Permits from the Office of the County Engineer.

LEGEND



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Permitted Accessory Use: Laundry, Gym, Parking, Signage, Outdoor dining, Plazas, Parks, Public Spaces, Lobbies, Tenant Storage, Management/Leasing Office

Bulk Standards					
	Required	Proposed Lot 1.03	Complies	Proposed Lot 1.05	Complies
Setbacks:	Min: 0 FT ⁽¹⁾ Max: 10 FT ⁽²⁾	> 10 FT	No*	> 10 FT	No*
Building Height:	4-30 Stories	26 Stories	Yes	17 Stories	Yes
Retail Façade:	Min. 80% of Street Frontage at Ground Floor at Frank E. Rodgers Boulevard	100%	Yes	N/A	N/A
Retail Depth	Min. Unit Depth: 40 FT	10.666 FT	No*	187 FT	Yes

* Variance Required

Proposed Signage: Freestanding signs are prohibited in the Mixed Use District, therefore, a variance is required for the proposed Sign Tower* and the proposed Pylon Sign*.

Unit Chart – Phases I & II		
Type	Quantity	Percentage
Studio + 1 Bedroom	873 Units	79%
2 Bedroom	197 Units	18%
3 Bedroom	37 Units	3%
		(16% of 2 & 3-bedroom units) (V)
Total Units	1,107 Units	100%

Unit Chart – Phase II Only		
Type	Quantity	Percentage
Studio + 1 Bedroom	727 Units	81%
2 Bedroom	134 Units	15%
3 Bedroom	37 Units	4%
		(22% of 2 & 3-bedroom units) (V)
Total Units	898 Units	100%

Min. 50% required to be studio or 1-bedroom units.
Max. 50% to be 2 or 3-bedroom units of which 10% can be 3-bed (V)

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS – PHASE II
BLOCK 133; LOT 1.03 & 1.05
OVERALL LAYOUT PLAN

TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

LOUIS L. ZAGNER V.P.E.
Professional Engineer
No. 000000000
Harrison, NJ 08033
Date: 5/14/20
Project No.: 03-LAYOUT.dwg
Drawing Name: 03-LAYOUT.dwg

Sheet Number
4 OF 21

DATE	PROJECT NO.	DRAWING NAME	REVISIONS	DATE
05/14/20	03-LAYOUT.dwg	03-LAYOUT.dwg	03-LAYOUT.dwg	03-LAYOUT.dwg

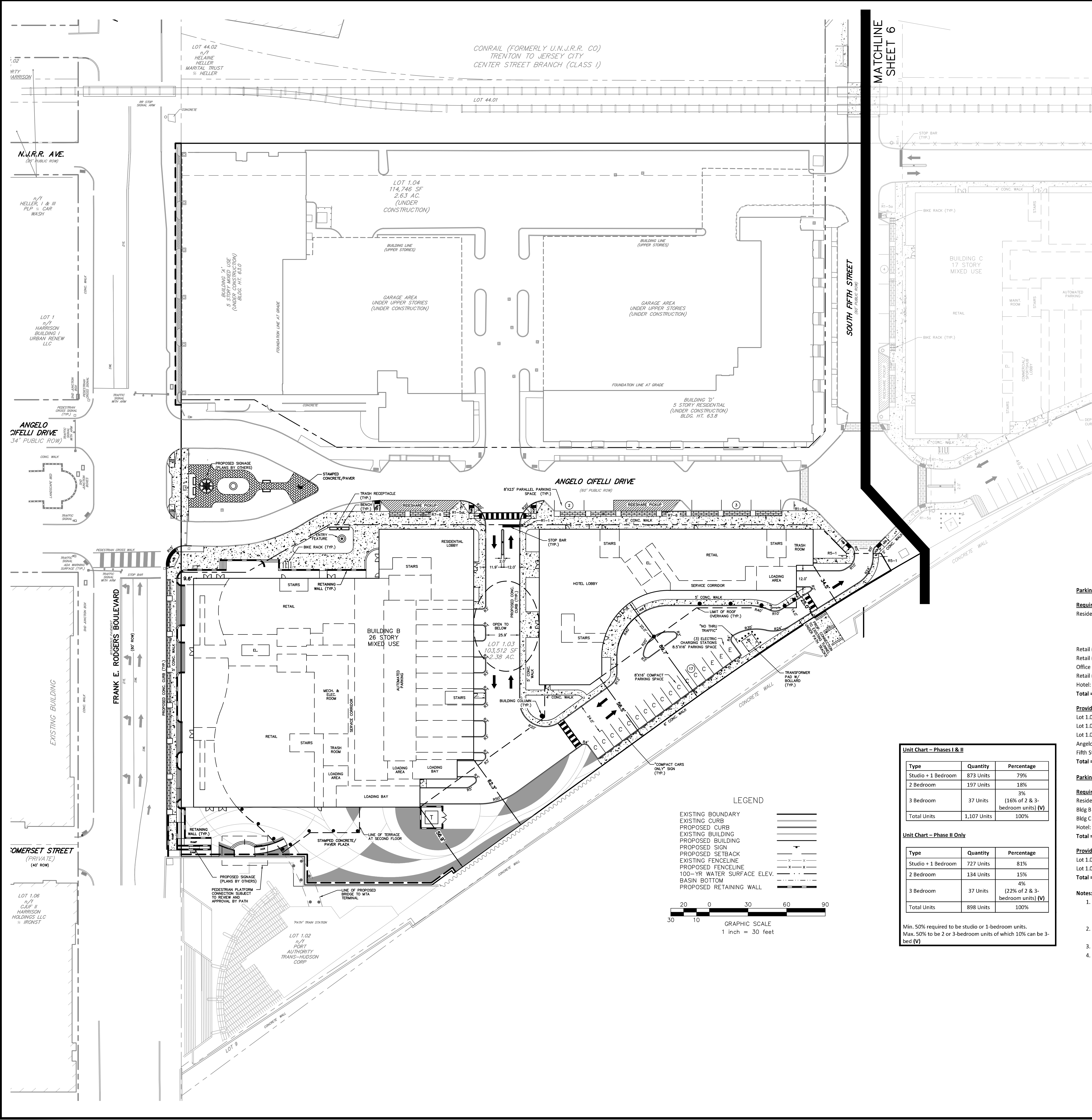
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BLOCK 133; LOT 1.03 & 1.05
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Sheet Number
4 OF 21



MATCHLINE
SHEET 6



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Parking Schedule - Phases I & II:

Required

Residential:

Redevelopment Plan

1,107 Units @ 1/Unit = 1,107 spaces

RSIS (Residential Only)¹

(0.8 / Studio or 1 Bedroom) x 873 = 699 spaces
(1.3 / 2-Bedrooms) x 197 = 257 spaces
(1.9 / 3-Bedrooms) x 37 = 71 spaces
Total = 1,027 spaces

Retail (Building A): 8,495 SF @ 1/1,000 SF = 9 spaces
Retail (Building B): 58,106 SF @ 1/1,000 SF = 59 spaces
Office (Building B): 72,420 SF @ 1/1,000 SF = 73 spaces
Retail (Building C): 74,183 SF @ 1/1,000 SF = 75 spaces
Hotel: 200 Rooms @ 1/Room + 7,969 SF @ 1/1,000 SF = 208 spaces
Total = 1,531 spaces required

Provided:

Lot 1.03 = 17 surface + 648 automated = 665 spaces (17 Compact, 3 of which are Electric spaces)
Lot 1.04 = 177 spaces (31 Compact)
Lot 1.05 = 114 surface + 571 automated = 685 spaces (11 Compact & 6 Electric spaces)
Angelo Cifelli Drive = 12 spaces
Fifth Street = 10 spaces
Total = 1,549 spaces proposed

Parking Schedule - Phase II Only:

Required

Residential:

Redevelopment Plan

898 Units @ 1/Unit = 898 spaces
Bldg B (Retail & Commercial): 130,526 SF @ 1/1,000 SF = 132 spaces
Bldg C (Retail): 74,183 SF @ 1/1,000 SF = 75 spaces
Hotel: 200 Rooms @ 1/Room + 7,969 SF @ 1/1,000 SF = 208 spaces
Total = 1,313 spaces required

Provided:

Lot 1.03 = 17 surface + 648 automated = 665 spaces (17 Compact, 3 of which are Electric spaces)
Lot 1.05 = 115 surface + 571 automated = 686 spaces (11 Compact & 6 Electric spaces)
Total = 1,350 spaces proposed

Notes:

1. As per N.J.A.C. 5:21-4.14(c) alternative parking standards shall be accepted to better reflect local conditions (Mass Transit/Urban). Parking is provided in compliance with the Redevelopment Plan Standards which have been established based on location conditions and proven demand with prior/similar projects.
2. A de minimis exception from the Residential Site Improvement Standards (N.J.A.C. 5:21-4) related to parking space sizes whereas 9'x18' is required and 8.5'x18' is proposed.
3. 20% of the total spaces may be compact (min. 8'x15').
4. 2% of the total spaces provided shall be handicap accessible.

Unit Chart - Phases I & II

Type	Quantity	Percentage
Studio + 1 Bedroom	873 Units	79%
2 Bedroom	197 Units	18%
3 Bedroom	37 Units	3%
Total Units	1,107 Units	(16% of 2 & 3-bedroom units) (V)

Unit Chart - Phase II Only

Type	Quantity	Percentage
Studio + 1 Bedroom	727 Units	81%
2 Bedroom	134 Units	15%
3 Bedroom	37 Units	4%
Total Units	898 Units	(22% of 2 & 3-bedroom units) (V)

Min. 50% required to be studio or 1-bedroom units.
Max. 50% to be 2 or 3-bedroom units of which 10% can be 3-bed (V)

MidAtlantic
Engineering & Planning, LLC

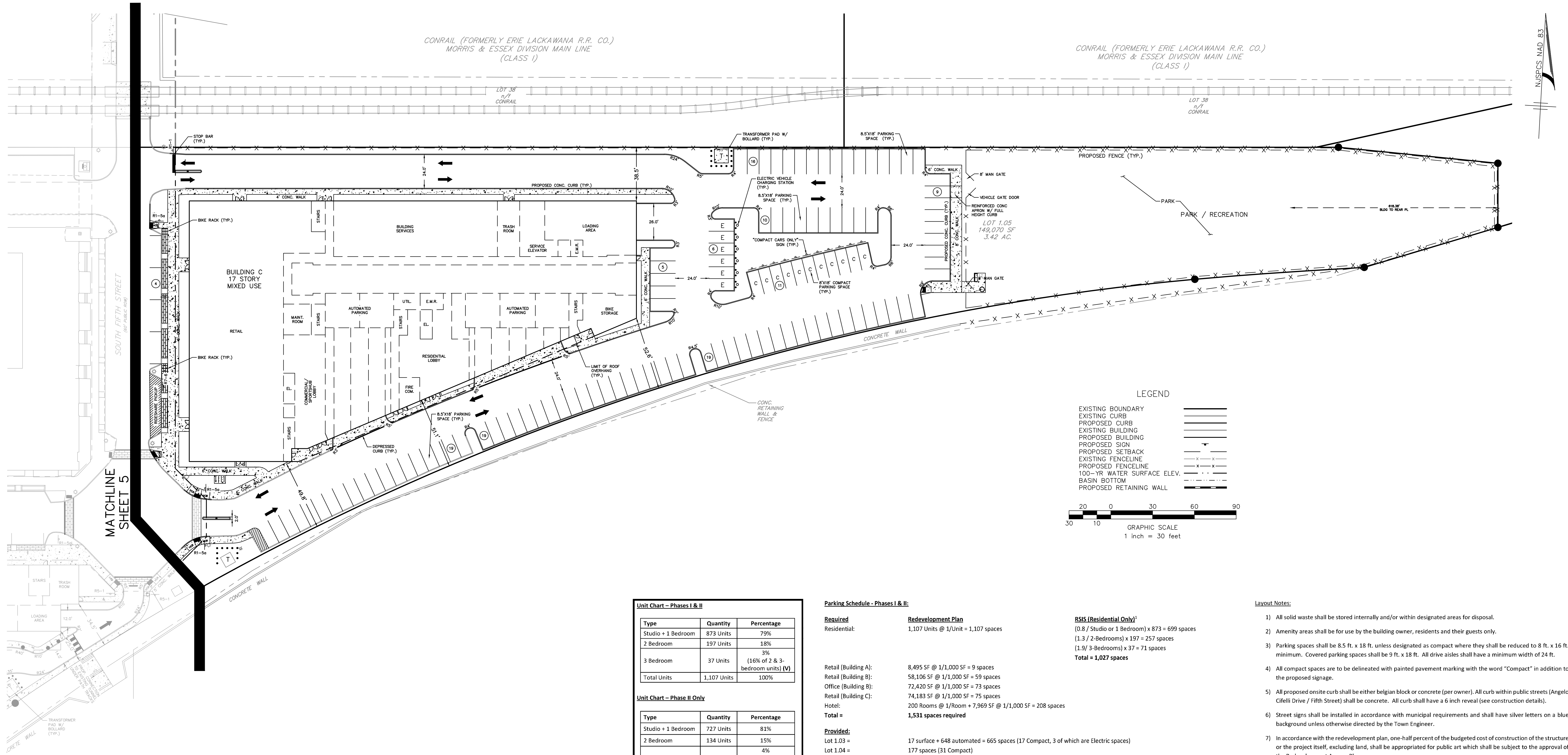
Certificate of Authorization No. 24020818-0000
Louis L. Ziegner V.P.E. PE No. 060426600
Matthew J. Brennan P.E. PE No. 060446000
William J. Pirelli P.E. PE No. 060451000

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
GEOMETRY, SIGNAGE & STRIPING PLAN

SITUATED IN
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

5/19/20
Date
Louis L. Ziegner IV, P.E.
Professional Engineer
NJ Lic. No. 060446000

DRAWN BY:	CHECKED BY:	RELEASED BY:
EMD	KES	
DATE:	HORIZONTAL SCALE:	VERTICAL SCALE:
09/26/19	1" = 30'	N/A
PROJECT No.:	EEQ-191	
DRAWING NAME:	03-Locate.dwg	
DATE:	REVISIONS	DRAWN BY
25/19/20	REV. PER TOWN COMMENTS	WKS
24/14/20	REV. PER ARCHITECTURAL CHANGES	MGL
12/05/19	REV. PER ARCHITECTURAL CHANGES	JSR
		LLZ



Unit Chart - Phases I & II		
Type	Quantity	Percentage
Studio + 1 Bedroom	873 Units	79%
2 Bedroom	197 Units	18%
3 Bedroom	37 Units	3%
	(16% of 2 & 3- bedroom units) (V)	
Total Units	1,107 Units	100%

Unit Chart - Phase II Only		
Type	Quantity	Percentage
Studio + 1 Bedroom	727 Units	81%
2 Bedroom	134 Units	15%
3 Bedroom	37 Units	4%
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Total Units	898 Units	100%

Min. 50% required to be studio or 1-bedroom units.
Max. 50% to be 2 or 3-bedroom units of which 10% can be 3-
bed (V)

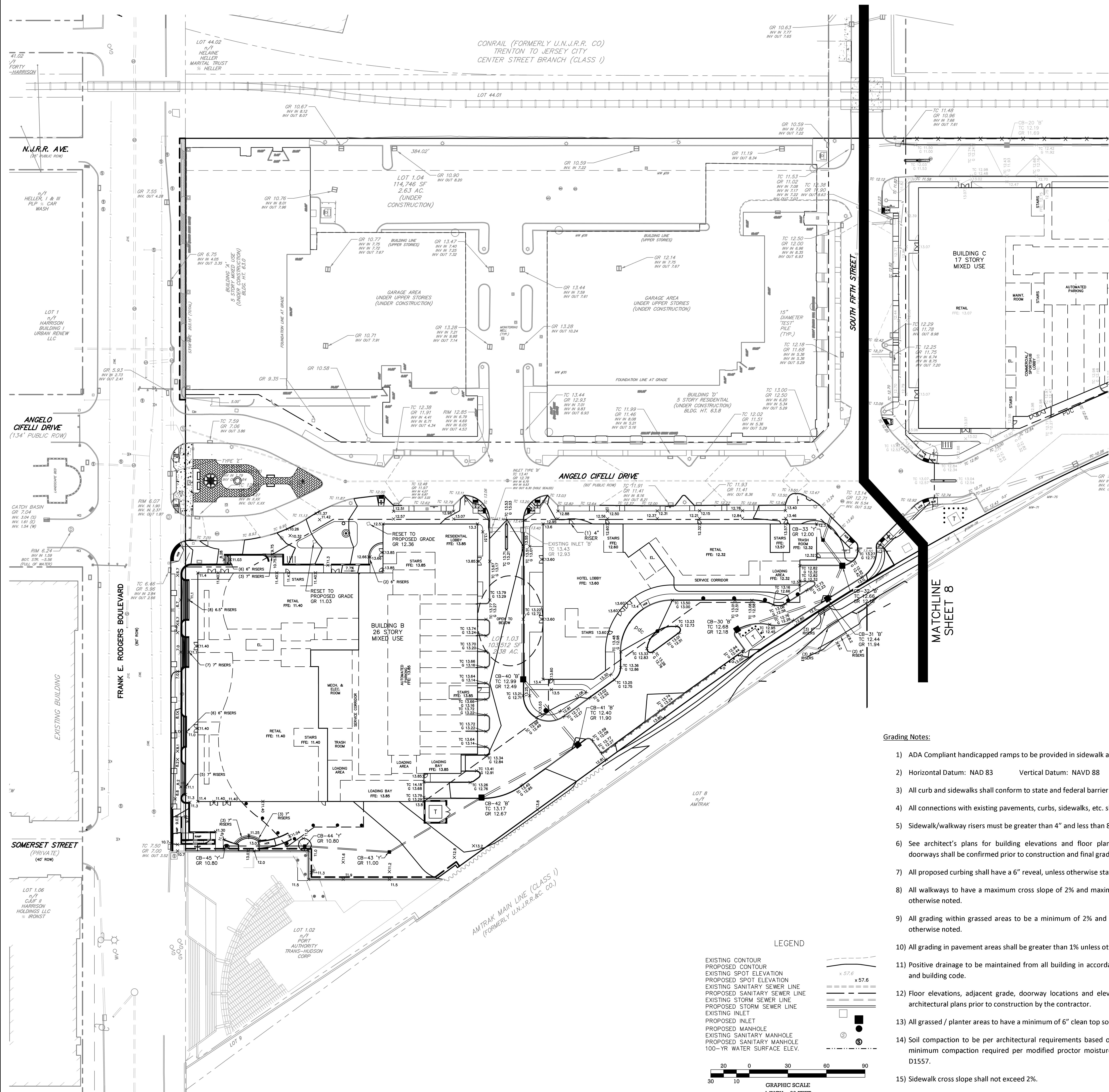
Parking Schedule - Phases I & II:		
Required	Redevelopment Plan	RSIS (Residential Only)¹
Residential:	1,107 Units @ 1/Unit = 1,107 spaces	(0.8 / Studio or 1 Bedroom) x 873 = 699 spaces (1.3 / 2-Bedrooms) x 197 = 257 spaces (1.9 / 3-Bedrooms) x 37 = 71 spaces Total = 1,027 spaces
Retail (Building A):	8,495 SF @ 1/1,000 SF = 9 spaces	
Retail (Building B):	58,106 SF @ 1/1,000 SF = 59 spaces	
Office (Building B):	72,420 SF @ 1/1,000 SF = 73 spaces	
Retail (Building C):	74,183 SF @ 1/1,000 SF = 75 spaces	
Hotel:	200 Rooms @ 1/Room + 7,969 SF @ 1/1,000 SF = 208 spaces	
Total =	1,531 spaces required	
Provided:		
Lot 1.03 =	17 surface + 648 automated = 665 spaces (17 Compact, 3 of which are Electric spaces)	
Lot 1.04 =	177 spaces (31 Compact)	
Lot 1.05 =	114 surface + 571 automated = 685 spaces (11 Compact & 6 Electric spaces)	
Angelo Cifelli Drive =	12 spaces	
Fifth Street =	10 spaces	
Total =	1,549 spaces proposed	

Parking Schedule - Phase II Only:		
Required	Redevelopment Plan	
Residential:	898 Units @ 1/Unit = 898 spaces	
Bldg B (Retail & Commercial):	130,526 SF @ 1/1,000 SF = 132 spaces	
Bldg C (Retail):	74,183 SF @ 1/1,000 SF = 75 spaces	
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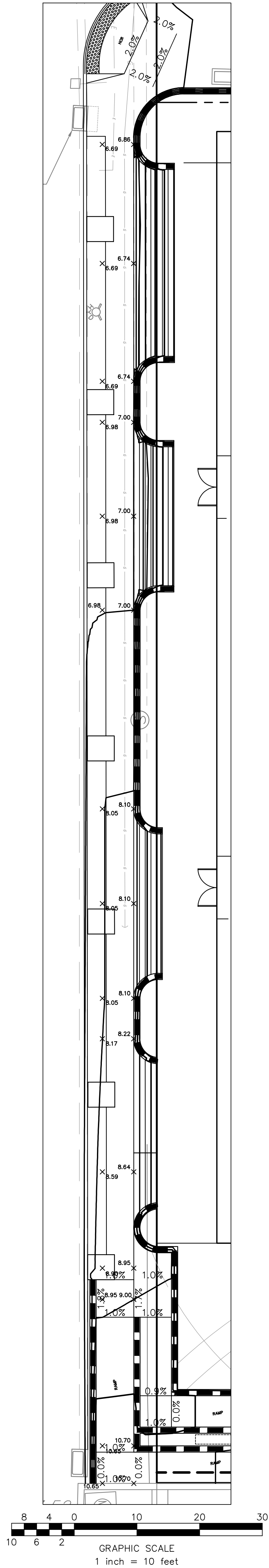
Notes:

- As per N.J.A.C. 5:21-4.14(c) alternative parking standards shall be accepted to better reflect local conditions (Mass Transit/Urban). Parking is provided in compliance with the Redevelopment Plan Standards which have been established based on location conditions and proven demand with prior/similar projects.
- A de minimis exception from the Residential Site Improvement Standards (N.J.A.C. 5:21-4) related to parking space sizes whereas 9'x18' is required and 8.5'x18' is proposed.
- 20% of the total spaces may be compact (min. 8'x15').
- 2% of the total spaces provided shall be handicap accessible.

- Layout Notes:**
- All solid waste shall be stored internally and/or within designated areas for disposal.
 - Amenity areas shall be for use by the building owner, residents and their guests only.
 - Parking spaces shall be 8.5 ft. x 18 ft. unless designated as compact where they shall be reduced to 8 ft. x 16 ft. minimum. Covered parking spaces shall be 9 ft. x 18 ft. All drive aisles shall have a minimum width of 24 ft.
 - All compact spaces are to be delineated with painted pavement marking with the word "Compact" in addition to the proposed signage.
 - All proposed onsite curb shall be either belgian block or concrete (per owner). All curb within public streets (Angelo Cifelli Drive / Fifth Street) shall be concrete. All curb shall have a 6 inch reveal (see construction details).
 - Street signs shall be installed in accordance with municipal requirements and shall have silver letters on a blue background unless otherwise directed by the Town Engineer.
 - In accordance with the redevelopment plan, one-half percent of the budgeted cost of construction of the structure or the project itself, excluding land, shall be appropriated for public art which shall be subject to the approval of the Redevelopment Agency Planner.
 - Refer to architectural plans for building elevations & floor plans.
 - All connections with existing pavement, curb, sidewalk etc. shall be saw cut.
 - Handicap detectable warning strips shall be "replaceable wet-set" or equivalent, Surface mount or "stick on" warning strips are not permitted.
 - The contractor shall:
 - Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
 - Be responsible to maintain the site in a clean and organized manner.
 - Dispose of any and all construction debris in accordance with any local, state, or federal requirements.
 - Repair any damage to public streets, curbs, sidewalks and utilities as a result of site construction activities.
 - Coordinate the construction schedule with the owner prior to start of work.
 - Obtain any required road opening permits and perform work in accordance with Town of Harrison requirements.
 - Be responsible to provide traffic control including barricades, lighting, signage etc. as may be necessary for completion of the project.
 - Be responsible for site safety and security and the means and methods of construction for the duration of the project.
 - Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing test pits as necessary.
 - Notify the owner and engineer of any required field changes immediately.
 - Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
 - Only import certified clean fill (if required) in accordance with NJDEP Technical Requirements N.J.A.C. 7:26E. All imported material requires approval by owner and their environmental consultant prior to placement onsite.
 - All signage to be posted in accordance with the United States Department of Transportation-Federal Highway Administration, "Manual on Uniform Traffic Control Devices for Street and Highways (MUTCD), latest edition.
 - The contractors work shall be in conformance with NJDOT "Standard Specifications for Road and Bridge Construction", latest edition.
 - On-site parking and driveways to be privately owned (with exception of roadways to be dedicated).
 - All pavement striping (stop bars / lane markings) shall be thermoplastic unless otherwise directed by the owner. Parking spaces to be painted.
 - See architectural plans for building signage.
 - Waste will be removed from trash room / designated storage areas into drive aisle at the time of collection.
 - Loading in/out of building will be provided off-street within the parking area drive aisles.
 - Parking spaces typically 8.5 ft. x 18 ft. with 24 ft. aisles provided. Compact parking 8 ft. wide and varying depth (16 ft. min.)
 - Temporary alteration of pedestrian circulation due to construction phase operations requires County Engineering Department approval of a pedestrian modification plan.
 - All work proposed within the County right-of-way will require the applicant to obtain County Road Opening Permits from the Office of the County Engineer.



- Grading Notes:
- ADA Compliant handicapped ramps to be provided in sidewalk at all intersections.
 - Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
 - All curb and sidewalks shall conform to state and federal barrier free design standards.
 - All connections with existing pavements, curbs, sidewalks, etc. shall be saw cut.
 - Sidewalk/walkway risers must be greater than 4" and less than 8".
 - See architect's plans for building elevations and floor plans, finished floor elevations at doorways shall be confirmed prior to construction and final grading.
 - All proposed curbing shall have a 6" reveal, unless otherwise stated.
 - All walkways to have a maximum cross slope of 2% and maximum running slope of 5% unless otherwise noted.
 - All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
 - All grading in pavement areas shall be greater than 1% unless otherwise noted.
 - Positive drainage to be maintained from all building in accordance with applicable regulations and building code.
 - Floor elevations, adjacent grade, doorway locations and elevations shall be confirmed with architectural plans prior to construction by the contractor.
 - All grassed / planter areas to have a minimum of 6" clean top soil
 - Soil compaction to be per architectural requirements based on slab and footing design. 95% minimum compaction required per modified proctor moisture density test procedure ASTM D1557.
 - Sidewalk cross slope shall not exceed 2%.



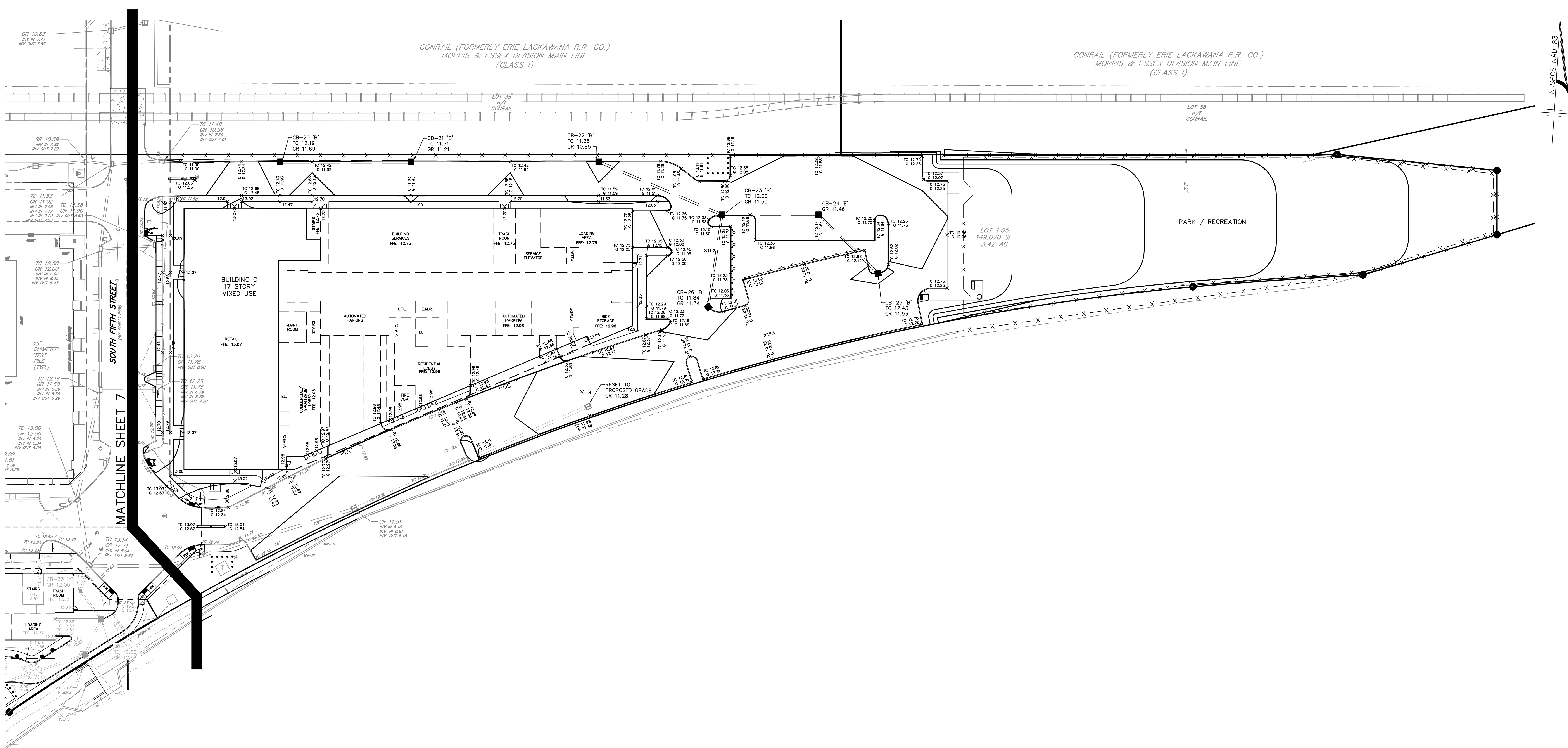
AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
GRADING PLAN

City of Harrison, New Jersey
Certificate of Authorization No. 240208180000
Louis L. Ziegner V.P.E. P.E. No. 060426600
Matthew J. Brennan P.E. P.E. No. 060446000
William J. Parnell P.E. P.E. No. 060415000

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
GRADING PLAN
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY
SITUATED IN
Louis L. Ziegner IV, P.E.
PROFESSIONAL ENGINEER
No. 060446000

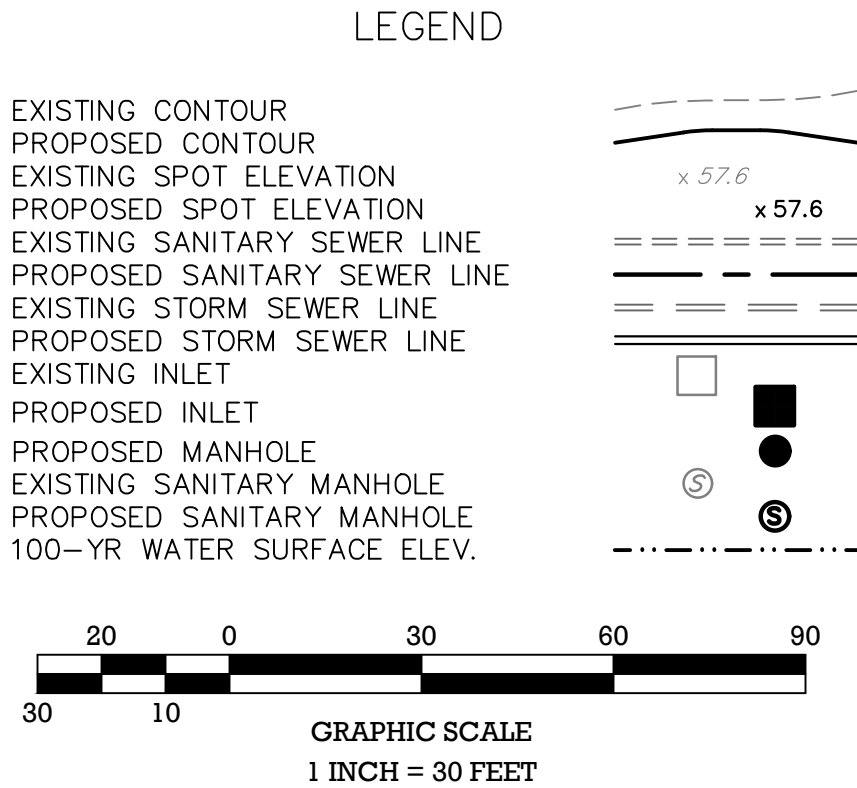
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DRAWN BY: EMD
CHECKED BY: KES
RELEASED BY: N/A
VERTICAL SCALE: N/A
HORIZONTAL SCALE: 1"=30'
REV. PER TOWN COMMENTS: WKS
REV. PER ARCHITECTURAL CHANGES: MGL
REV. PER ARCHITECTURAL CHANGES: JSR
DATE: 04/14/20
DATE: 02/05/19
REVISIONS: DRAWN BY: CHECKED BY:

File Name: G:\Easton Equities\JOBS\EEQ-191 - Harrison Yards\Yards\DWG\CH-Grading.dwg
Plot time: May 21, 2020 - 9:45am



Grading Notes:

- ADA Compliant handicapped ramps to be provided in sidewalk at all intersections.
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- All curb and sidewalks shall conform to state and federal barrier free design standards.
- All connections with existing pavements, curbs, sidewalks, etc. shall be saw cut.
- Sidewalk/walkway risers must be greater than 4" and less than 8".
- See architect's plans for building elevations and floor plans, finished floor elevations at doorways shall be confirmed prior to construction and final grading.
- All proposed curbing shall have a 6" reveal, unless otherwise stated.
- All walkways to have a maximum cross slope of 2% and maximum running slope of 5% unless otherwise noted.
- All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
- All grading in pavement areas shall be greater than 1% unless otherwise noted.
- Positive drainage to be maintained from all building in accordance with applicable regulations and building code.
- Floor elevations, adjacent grade, doorway locations and elevations shall be confirmed with architectural plans prior to construction by the contractor.
- All grassed / planter areas to have a minimum of 6" clean top soil
- Soil compaction to be per architectural requirements based on slab and footing design. 95% minimum compaction required per modified proctor moisture density test procedure ASTM D1557.
- Sidewalk cross slope shall not exceed 2%.



AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
GRADING PLAN
SITUATED IN
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

MidAtlantic
Engineering & Planning, LLC
1000 Morris Avenue, Suite 200
Harrison, NJ 08033
Tel: 973.261.1200
Fax: 973.261.1201
www.midatlanticeng.com

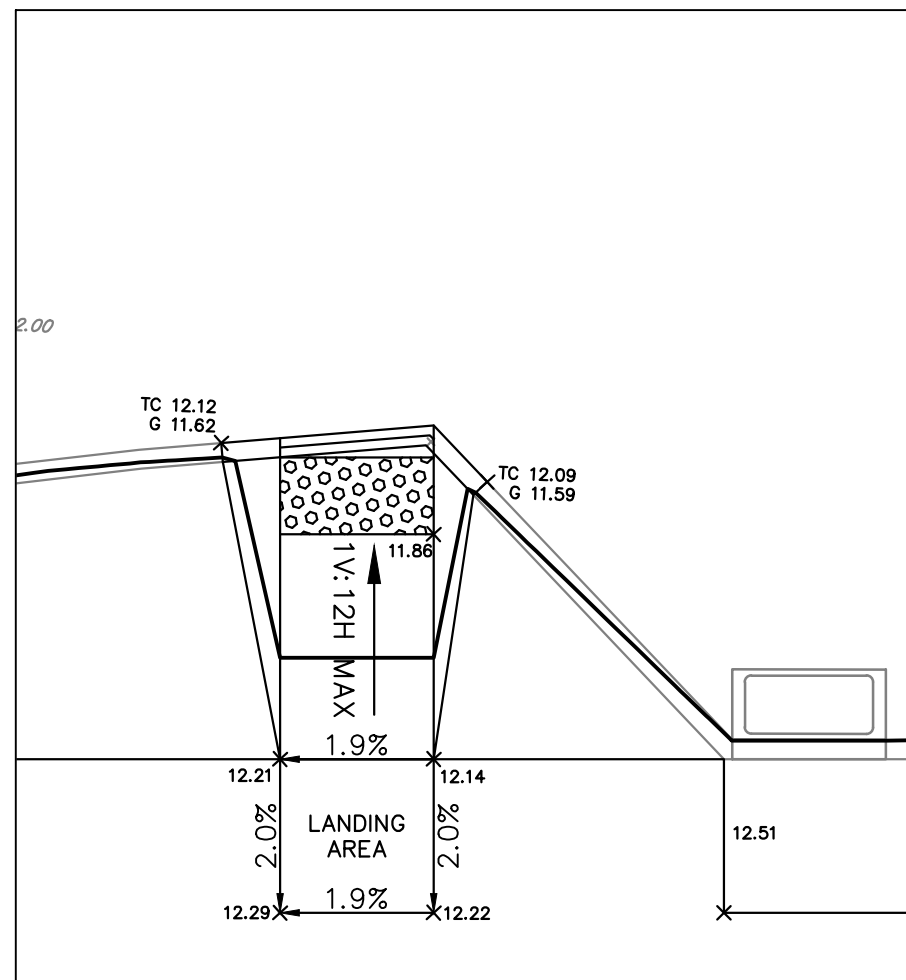
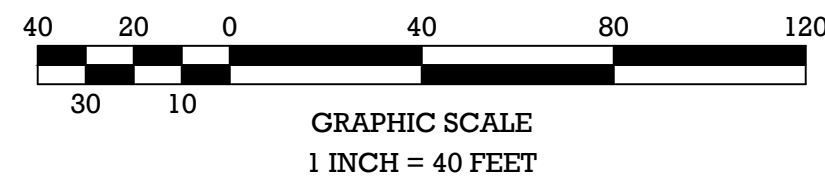
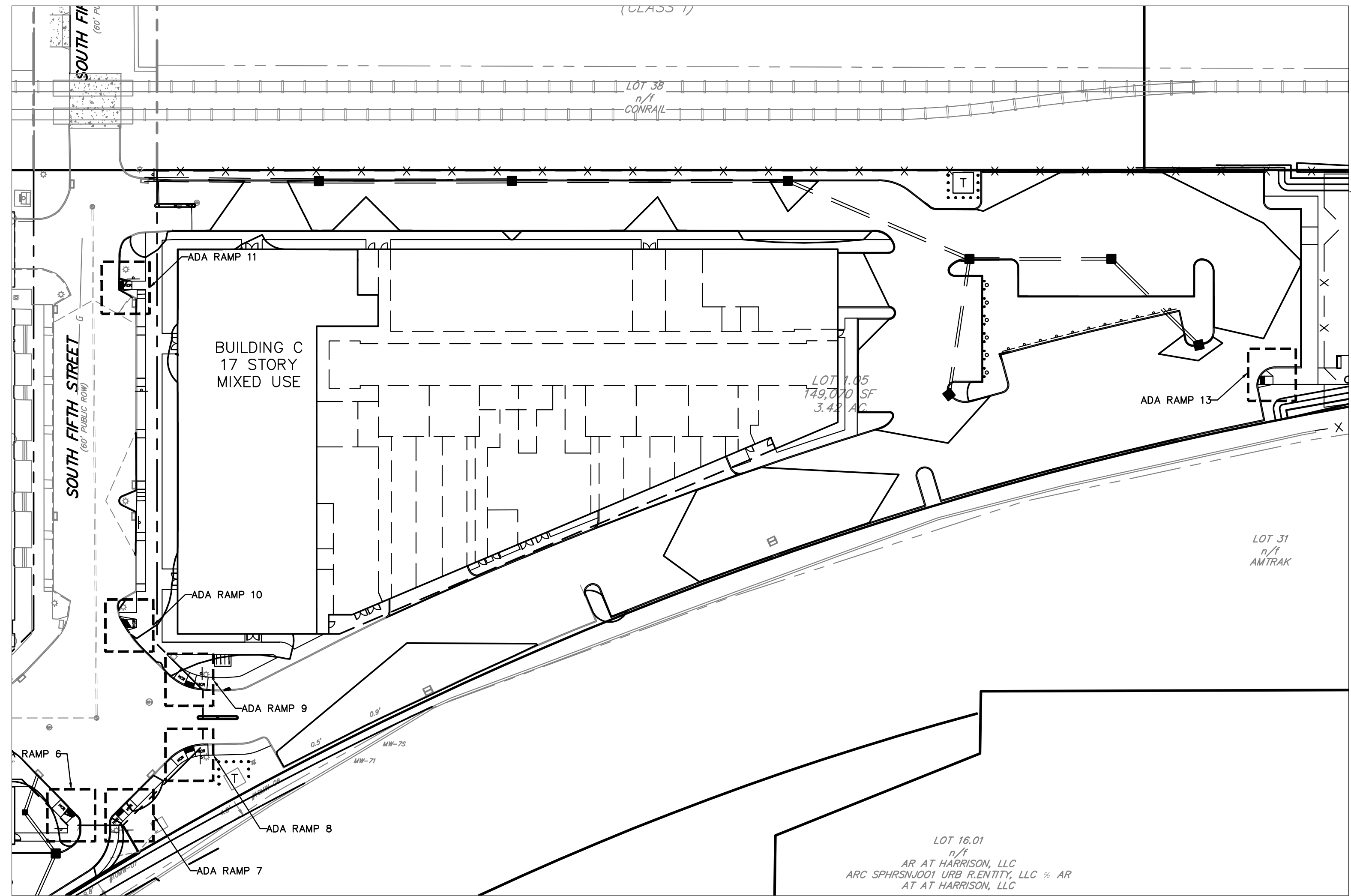
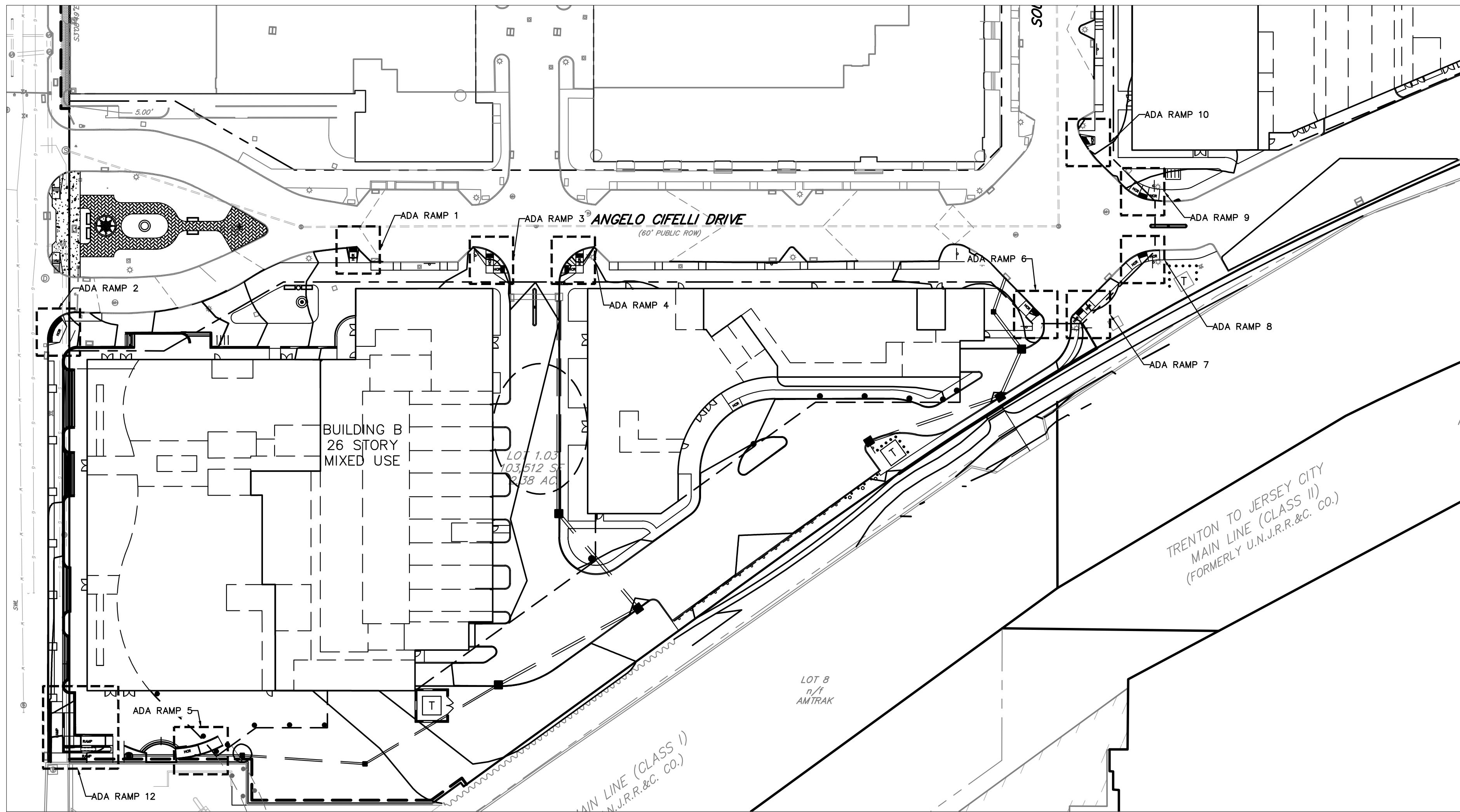
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Louis L. Zuegner V.P.E. P.E. No. 0624206600
Matthew J. Brennan P.E. P.E. No. 0624460000
William J. Parnell P.E. P.E. No. 0624150000

Sheet Number
8 OF 21

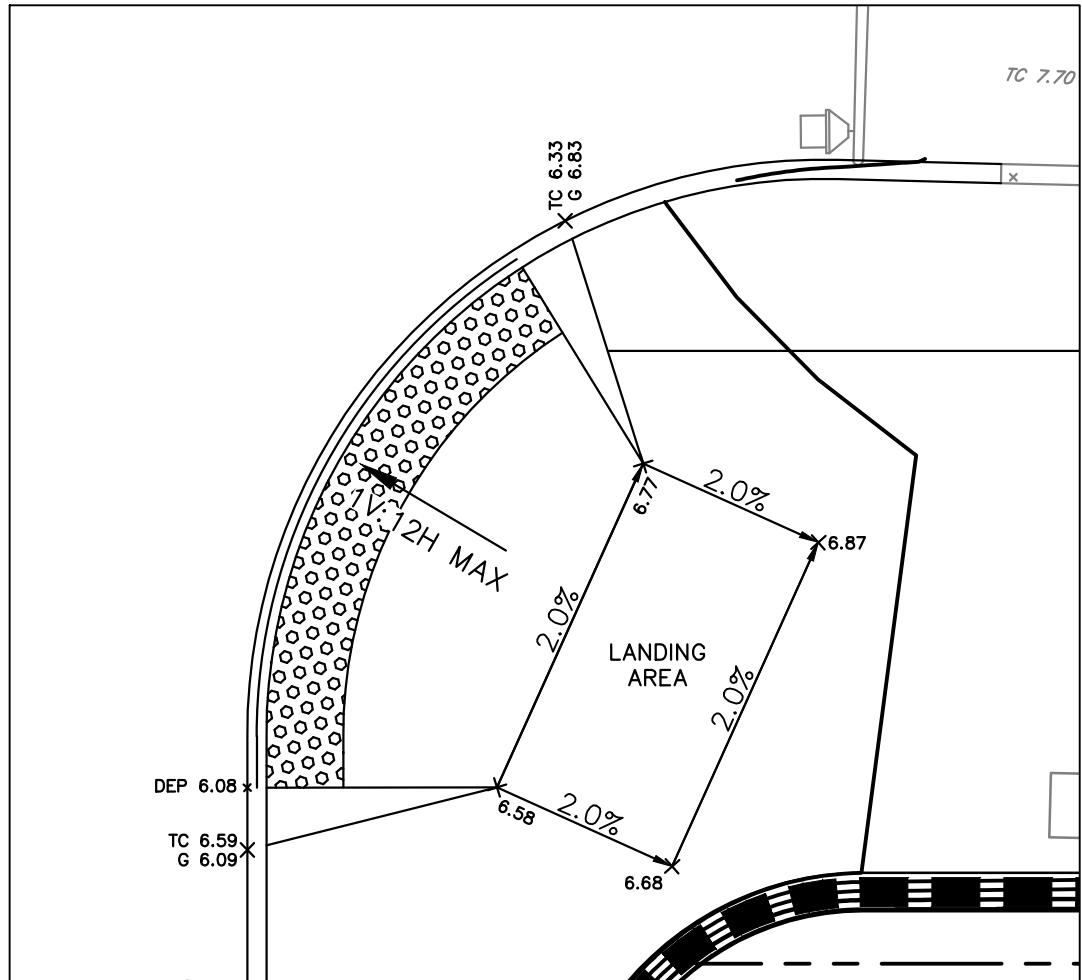
Louis L. Zuegner IV, P.E.
Professional Engineer
No. 0624206600
Date: 5/14/20

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						25/19/20	REV. PER TOWN COMMENTS	WKS
						04/14/20	REV. PER ARCHITECTURAL CHANGES	MLL

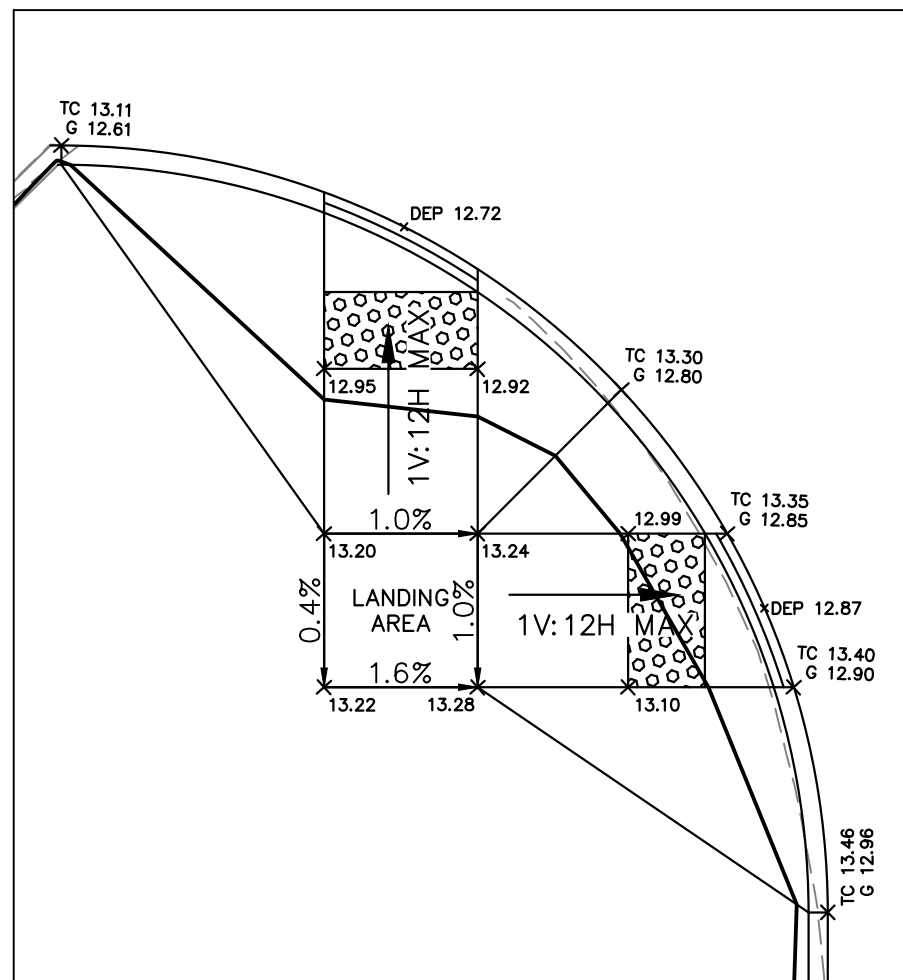
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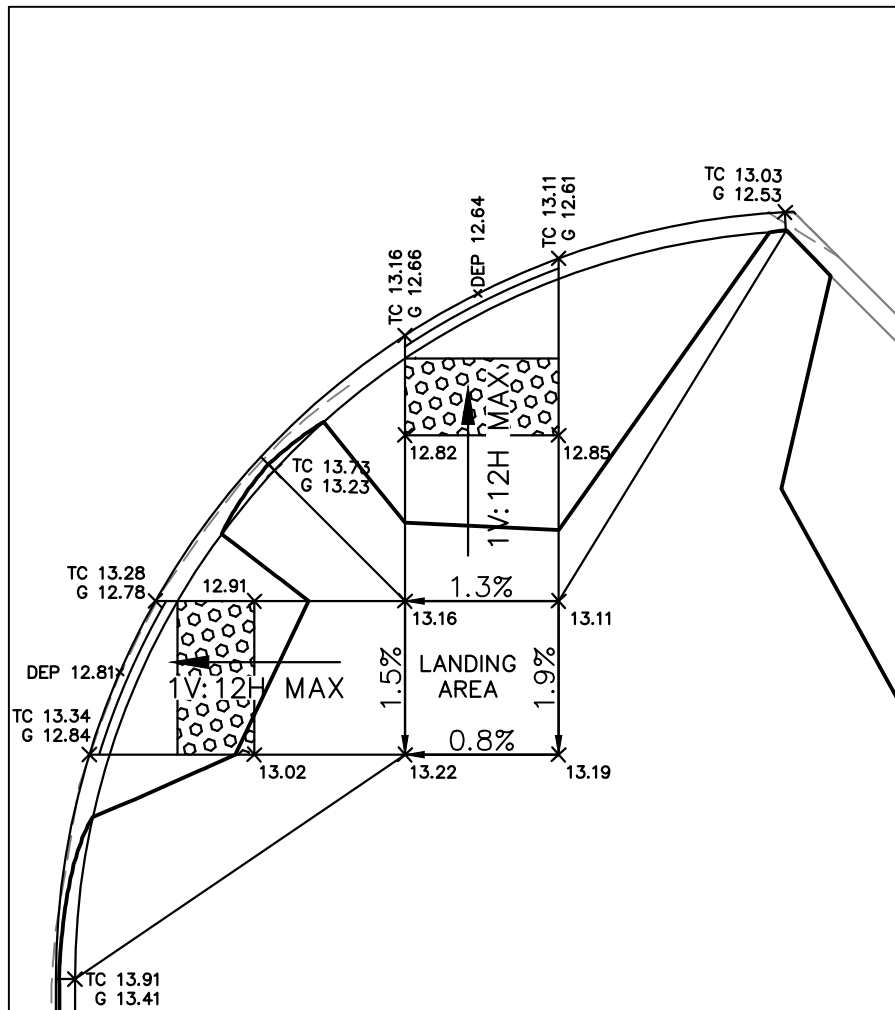
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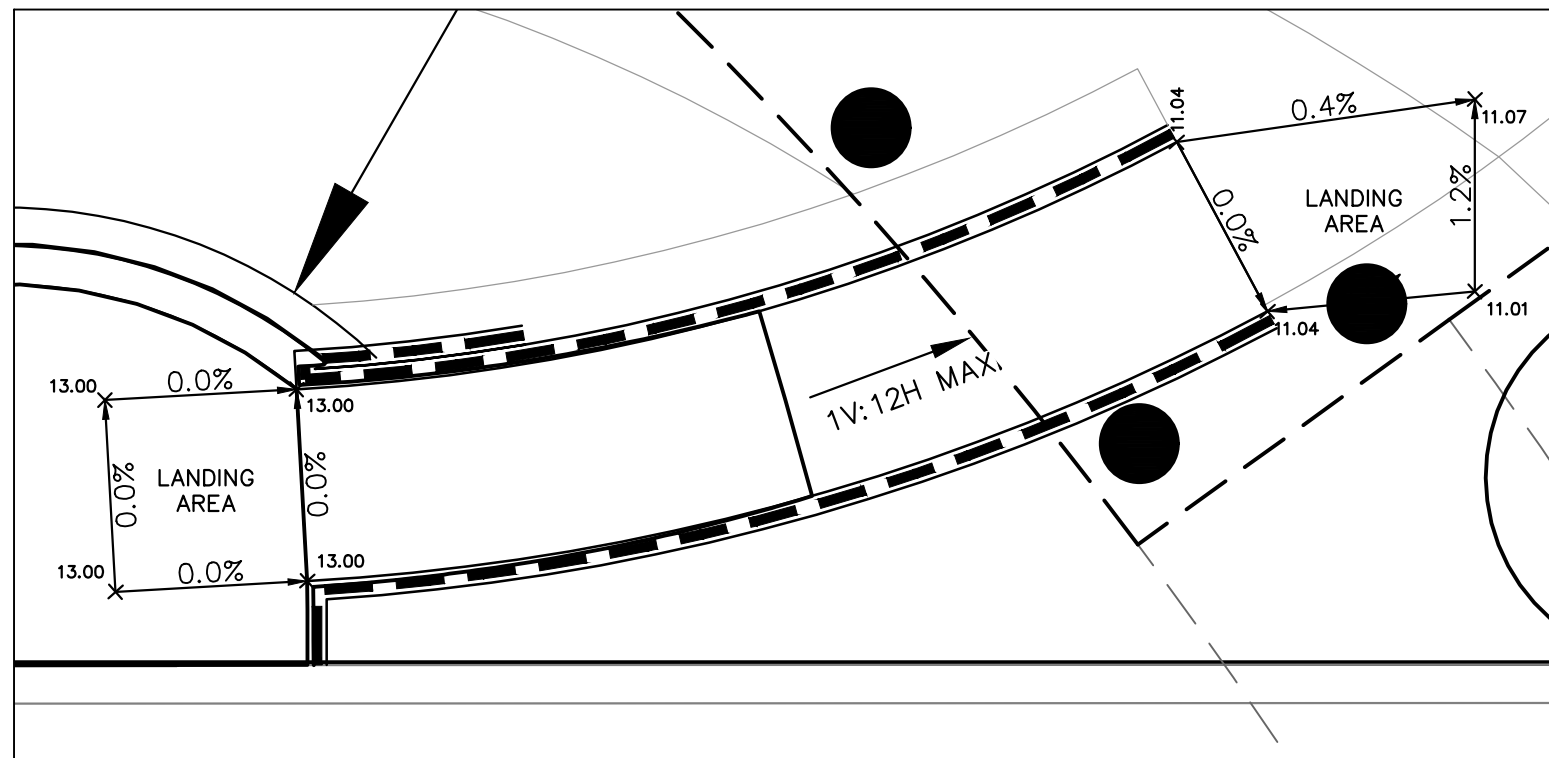
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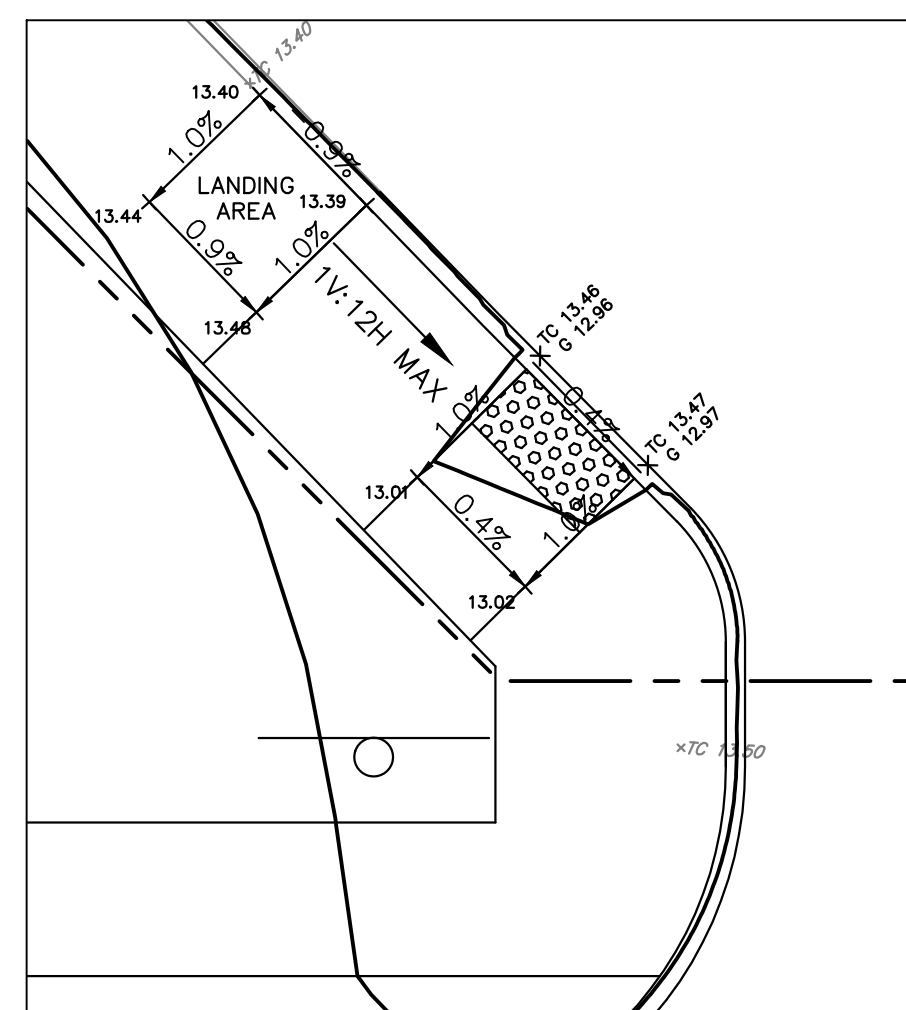
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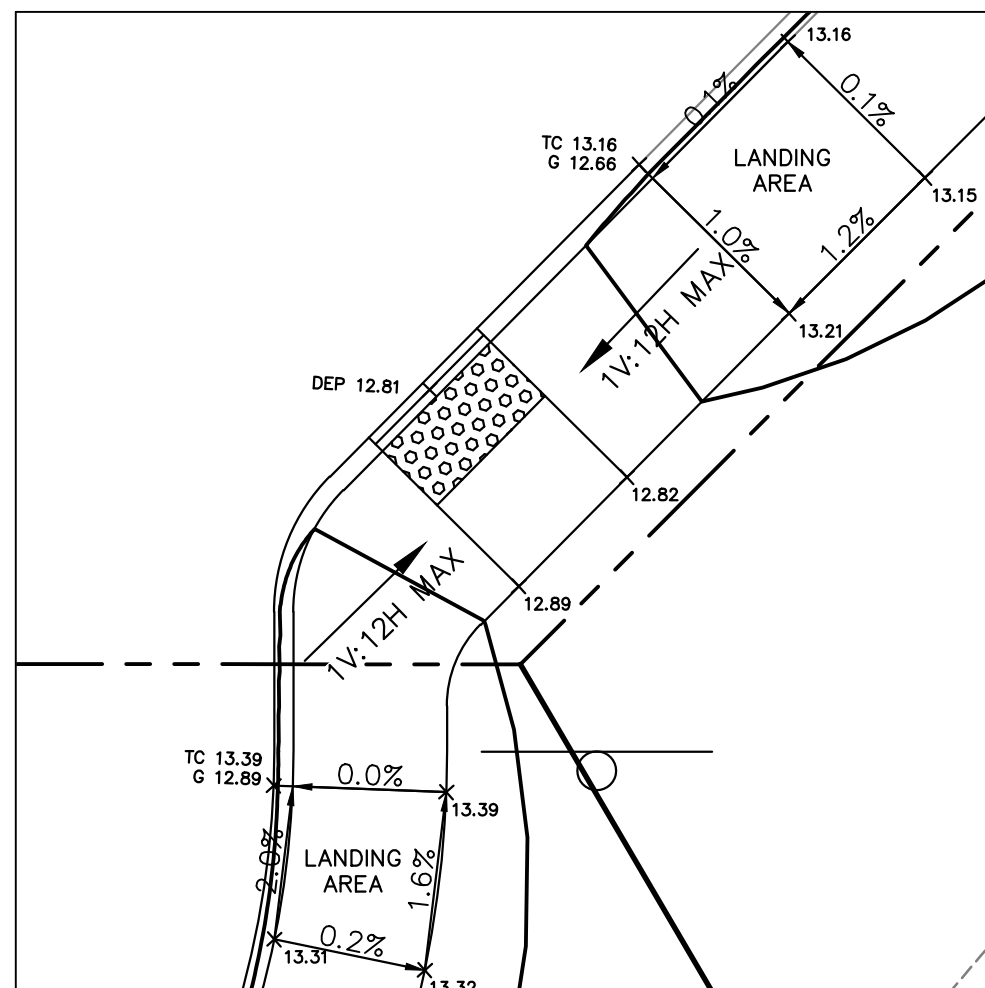
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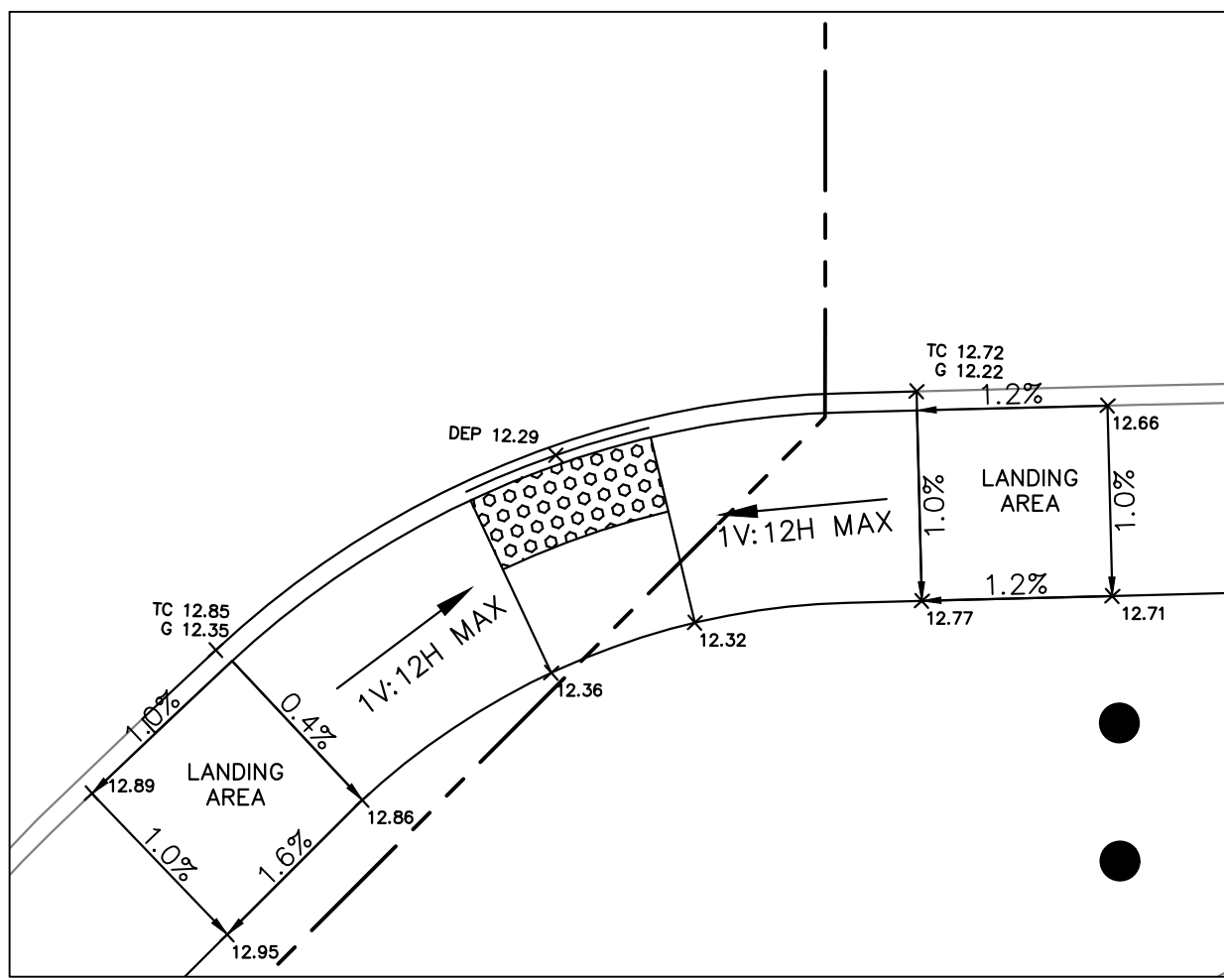
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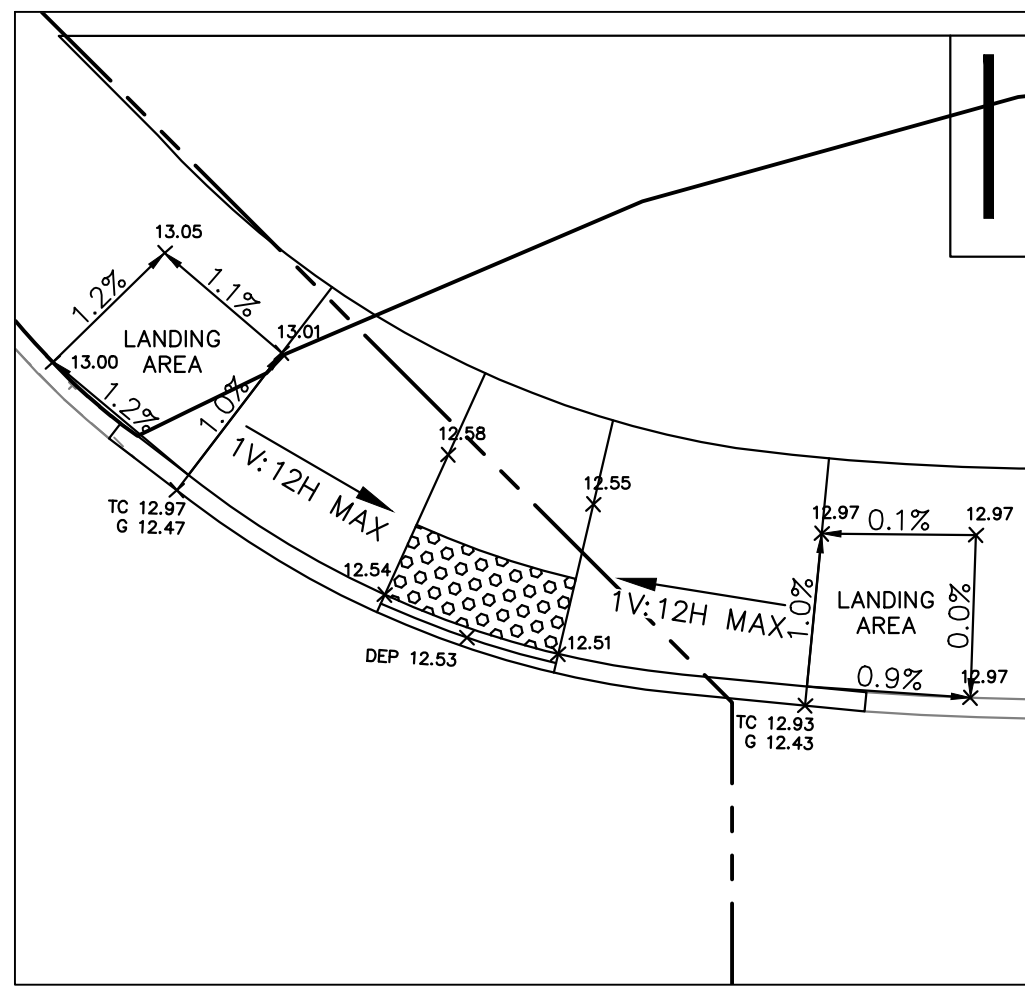
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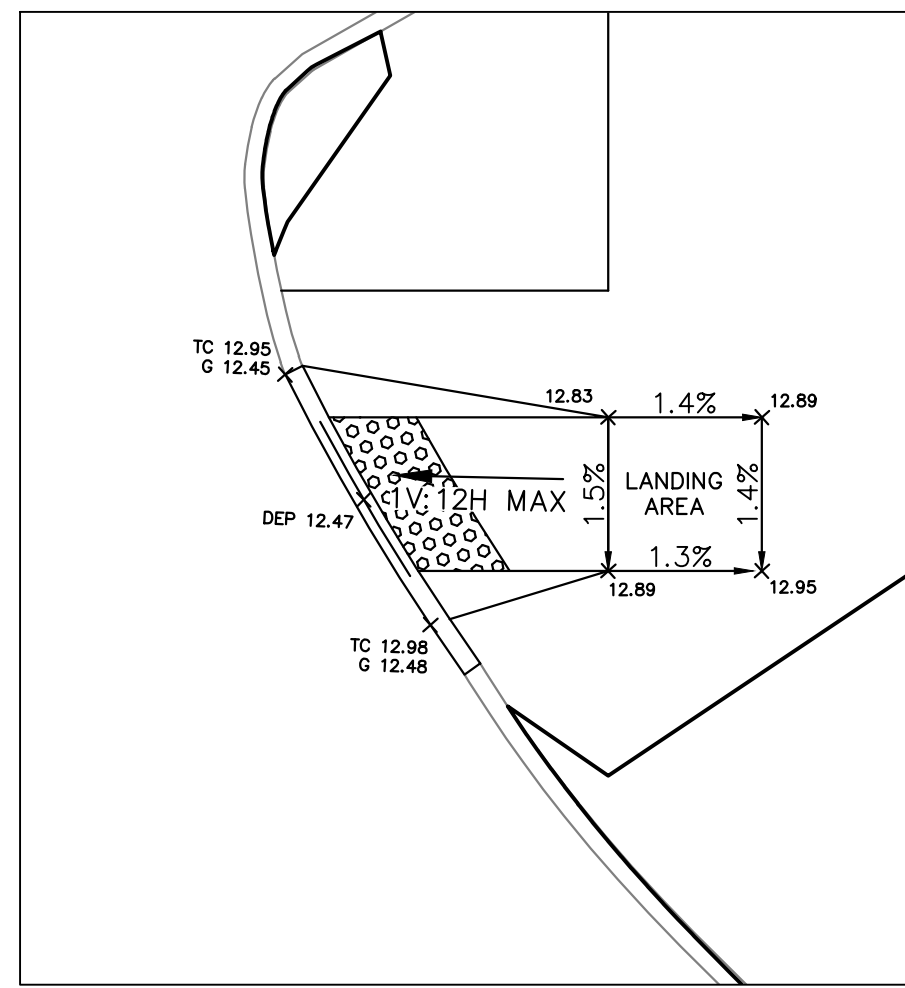
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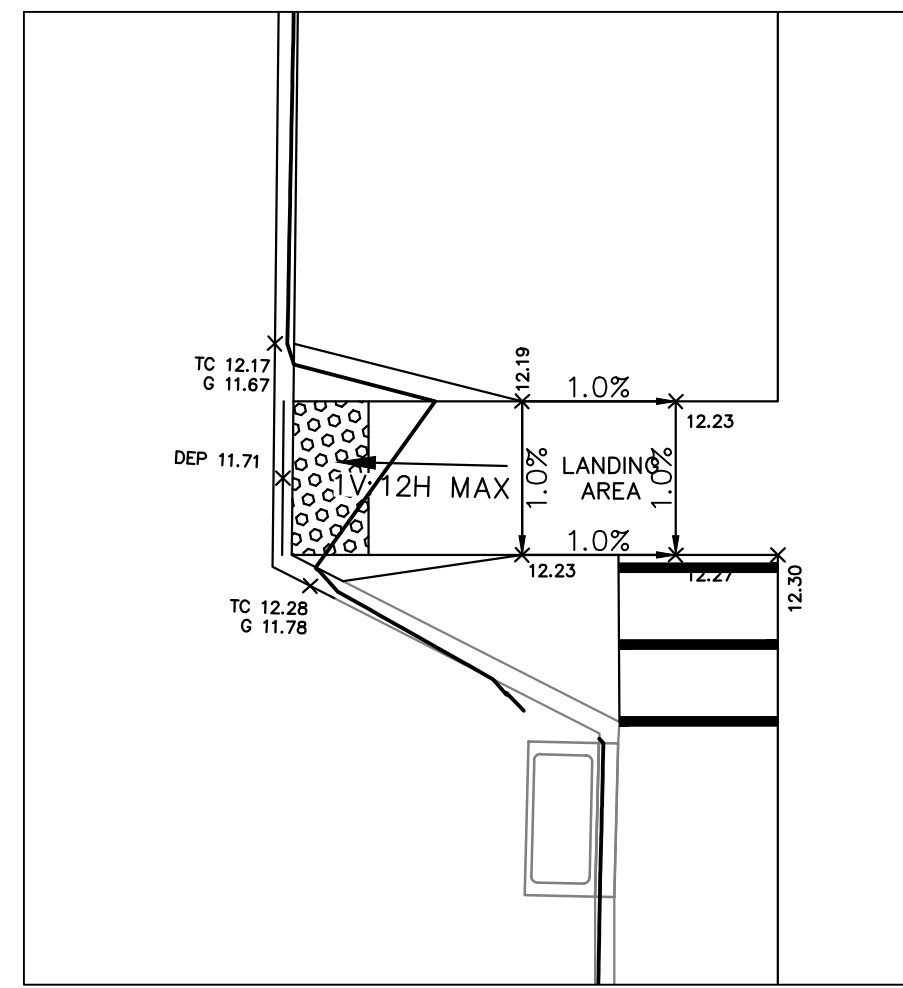
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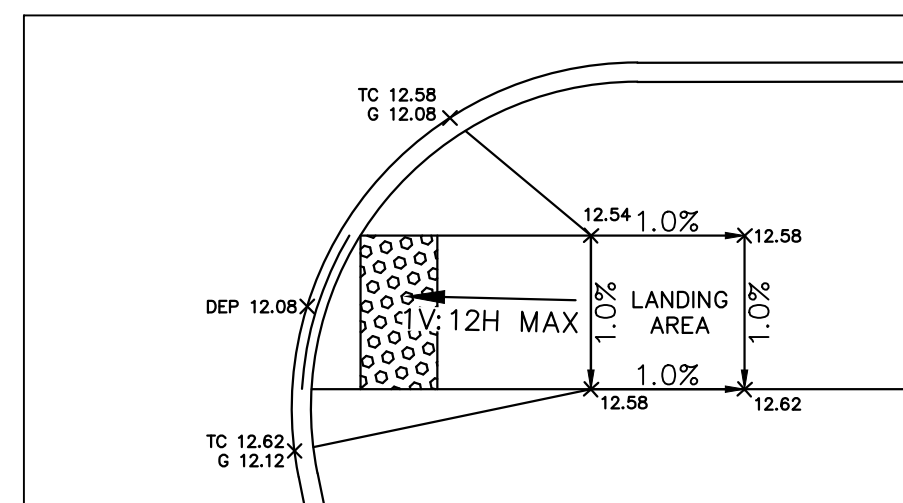
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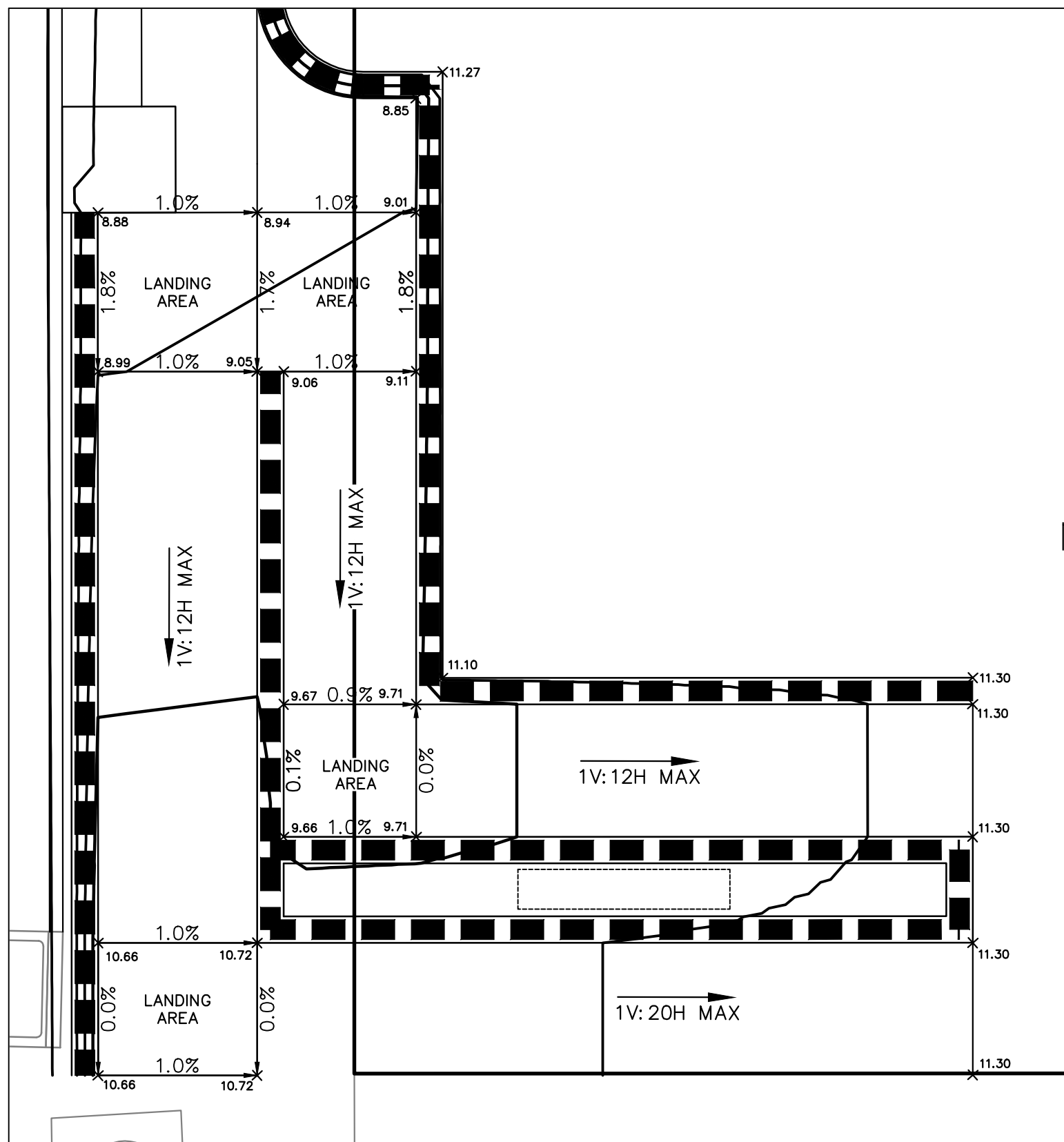
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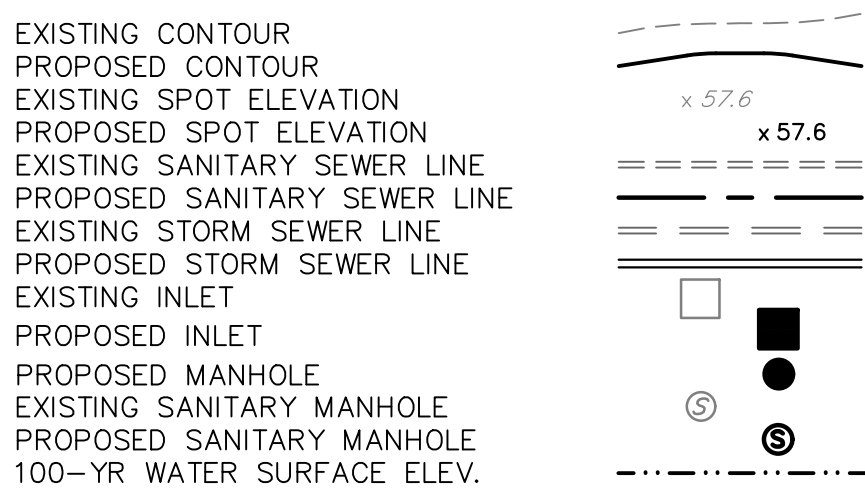


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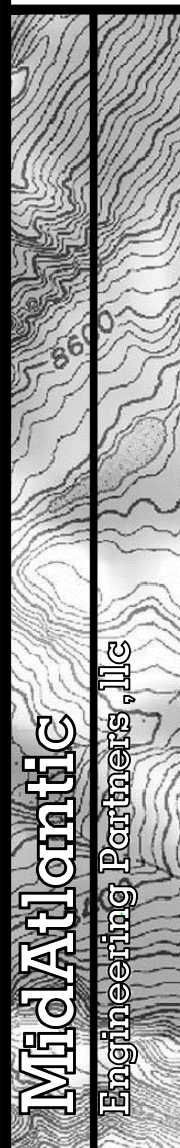
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LEGEND



AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05

SITUATED IN
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY



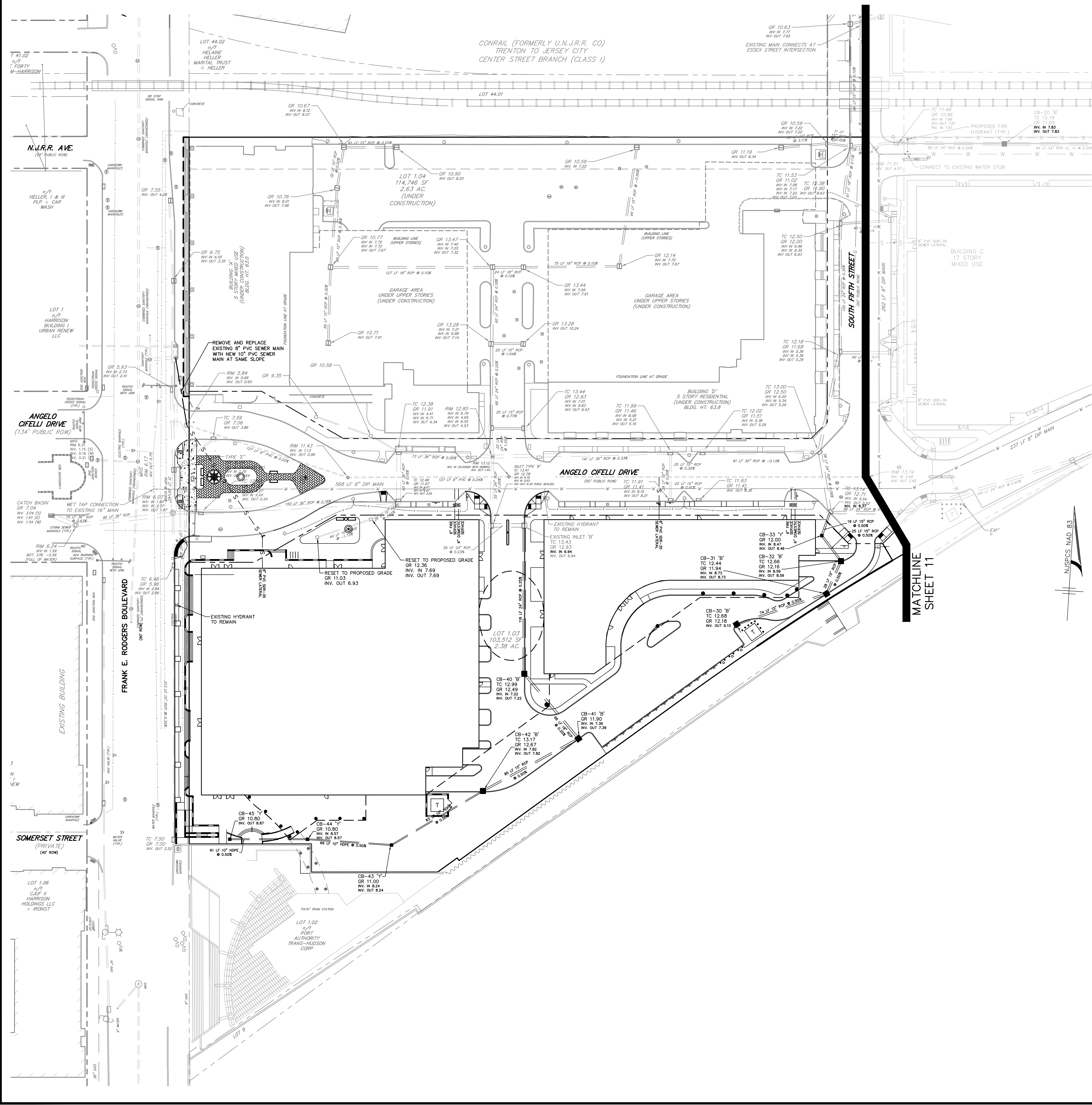
MidAtlantic
Engineering & Architecture, LLC
240208180000
Louis L. Ziegner V.P.E.
PE No. GE0426600
Matthew J. Brennan P.E.
PE No. GE0446000
William J. Pomeroy P.E.
PE No. GE0415000

2-5-19-20
Louis L. Ziegner IV, P.E.
PROFESSIONAL ENGINEER
NJ Lic. No. 000044050

DRAWN BY:	CHECKED BY:	RELEASED BY:
EMD	KES	
DATE:	HORIZONTAL SCALE:	VERTICAL SCALE:
09/26/19	1"=40'	N/A
PROJECT No.:	DATE:	REVISIONS
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04-Grading.dwg		

REV.	DATE	DESCRIPTION
01	09/26/19	REV. PER TOWN COMMENTS
02	09/26/19	REV. PER ARCHITECTURAL CHANGES
03	09/26/19	REV. PER ARCHITECTURAL CHANGES
04	09/26/19	REV. PER ARCHITECTURAL CHANGES

DRAWN BY: CHECKED BY: RELEASED BY:



Utility Notes:

- 1) All proposed onsite utilities shall be underground.
- 2) All sanitary sewer mains shall be owned & maintained by the Town of Harrison who will be provided with a blanket utility & access easement for the purpose of repair and service.
- 3) See MEP/Architectural plans for all utility connections to building, all utility connections shall be reviewed & verified by the contractor prior to start of site construction.
- 4) Utility locations may vary from the plan & shall be field verified prior to construction.
- 5) Pipe lengths indicated are measured center to center of each structure.
- 6) Building roof leaders and clear waste from building shall connect to site storm sewer system. Connection points shall be coordinated with architectural and plumbing plans.
- 7) Electrical, telephone, CATV and all other wire-served utility extensions and services shall be installed underground with standards established by the servicing utility company.
- 8) All water mains shall be installed with a minimum of 4 ft. of cover to prevent freezing.
- 9) All sewer mains and laterals shall be PVC SDR-35 or Ductile Iron Pipe Class PSI 350 as indicated on the plans unless otherwise noted.
- 10) All RCP shall be class 3 wall, bell and spigot type, unless otherwise noted.
- 11) All DIP water main shall be class 50, double cement lined interior wall, bituminous coated external wall with polyethylene encasement.
- 12) Adequate structural support of sewers and water lines at all points of crossing shall be provided to prevent excessive deflection, settlement, or damage. The crossings shall be arranged such that the joints in the pipes are equidistant and as far apart as possible from the other pipe.
- 13) Where utilities cross beneath existing / proposed water mains or storm and sanitary sewers, the utility contractor shall provide adequate structural support by installing select backfill from the utility to the spring line of the water main or sewer. Select backfill shall be clean sand or NDOT soil I-9 compacted to 95% of the modified proctor aggregate type density ASTM D-698 Method D. It shall extend a minimum of 10 feet each way from the centerline of the crossing.
- 14) Electrical transformer pad specifications, conduit locations, and installation to be coordinated with PSEG prior to installation.
- 15) A 10-ft. horizontal distance shall separate water mains and sanitary sewer mains. Where such separation is not possible, the water mains and sanitary sewer mains shall be installed in separate trenches with the water main at least 18 inches above the sewer main. Where such vertical separation is not possible, the sewer main shall be constructed with watertight joints for a distance of 10 feet in either direction of the water main (N.J.A.C. 7:10-11.7(d)-5).
- 16) All existing cleanout structures shall be checked, repaired and/or restored as needed prior to connection by the contractor.
- 17) All sanitary and drainage structures shall be precast concrete.
- 18) Electric transformers servicing the building shall incorporate public art by being painted in a creative fashion subject to approval by both the HRA & PSEG.
- 19) Project is located within an area served by combined storm and sanitary sewers.
- 20) Gas and electric service to be coordinated with PSEG.

LEGEND

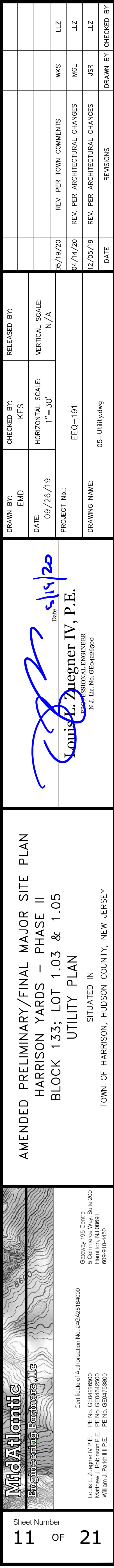
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PROPOSED STORM SEWER LINE	=====
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PROPOSED INLET	■
EXISTING SANITARY MANHOLE	⊙
PROPOSED SANITARY MANHOLE	⊙
EXISTING SANITARY LATERAL	— S — S — S —
PROPOSED SANITARY LATERAL	— S — S — S —
EXISTING WATER LINE	— W —
PROPOSED WATER LINE	— W —
EXISTING HYDRANT	⊙
PROPOSED WATER HYDRANT	⊙
PROPOSED WATER METER	⊙
PROPOSED WATER LATERAL	— W — W — W —
EXISTING GAS LINE	— G — G — G —
PROPOSED GAS LINE	— G — G — G —

GRAPHIC SCALE
1 INCH = 30 FEET

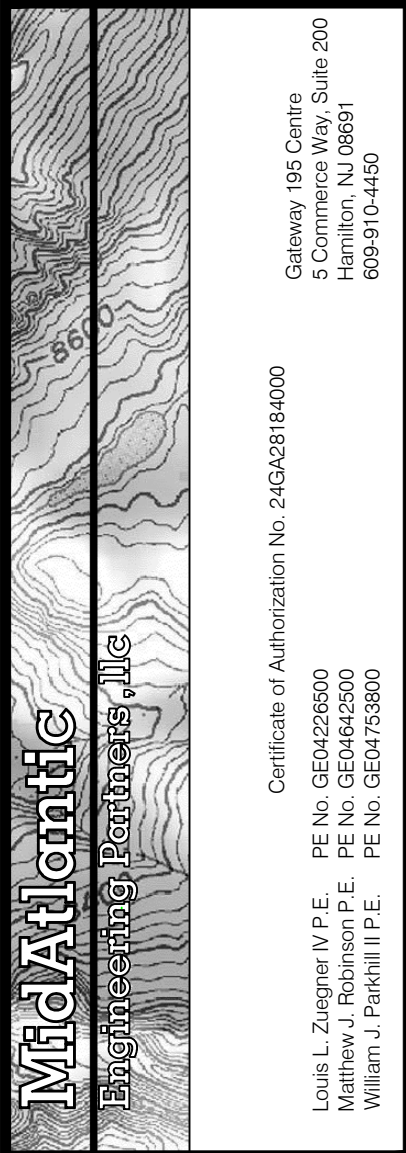
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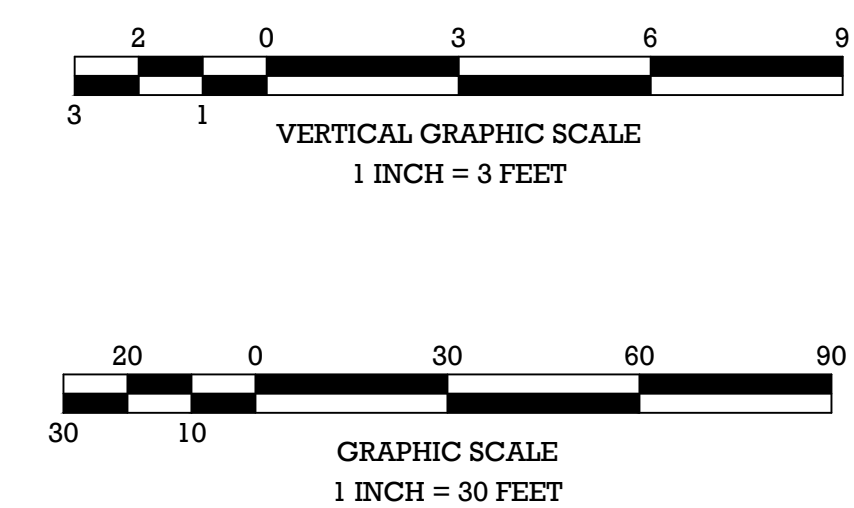
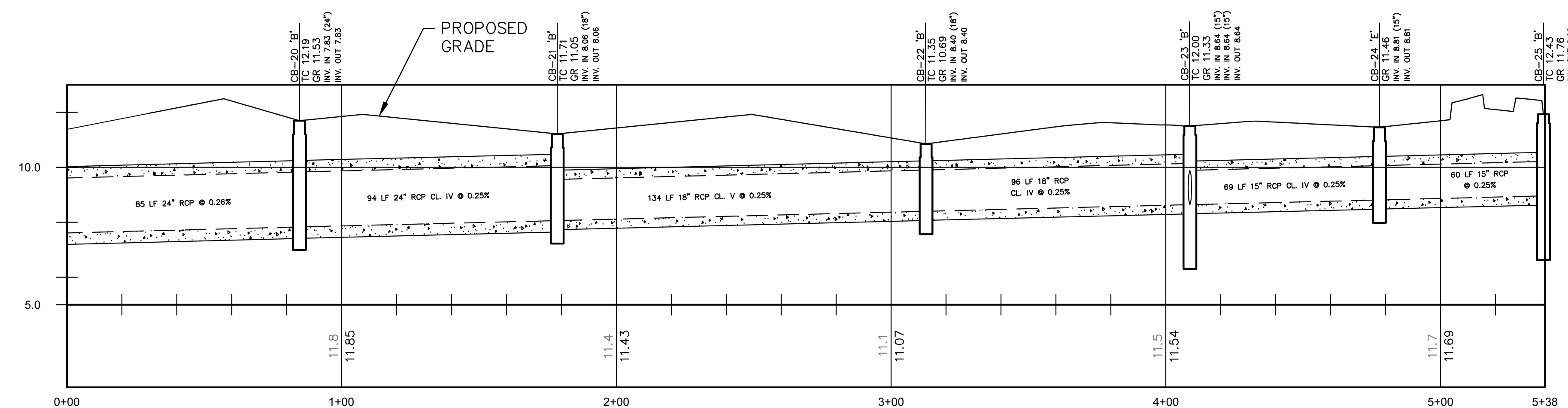
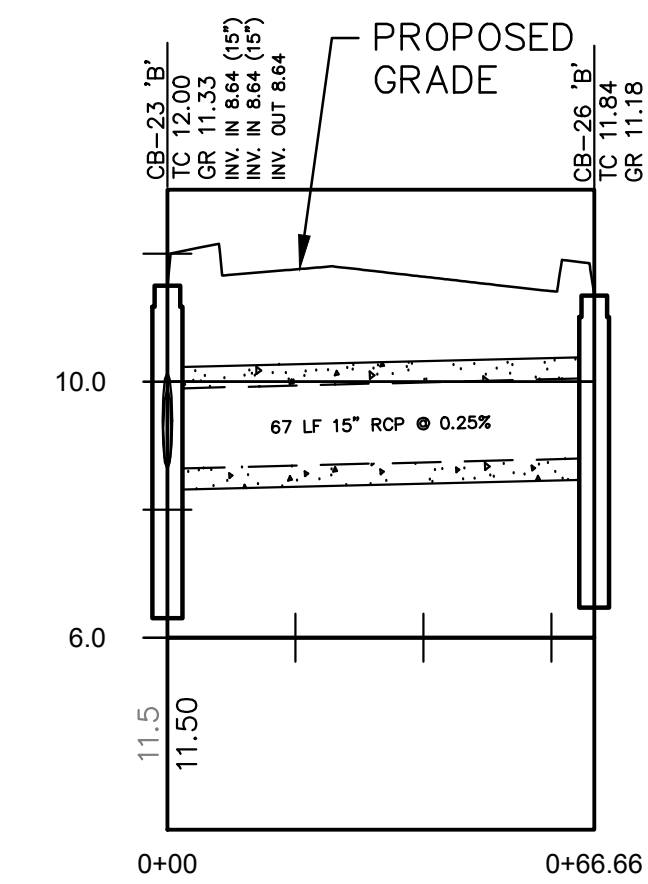
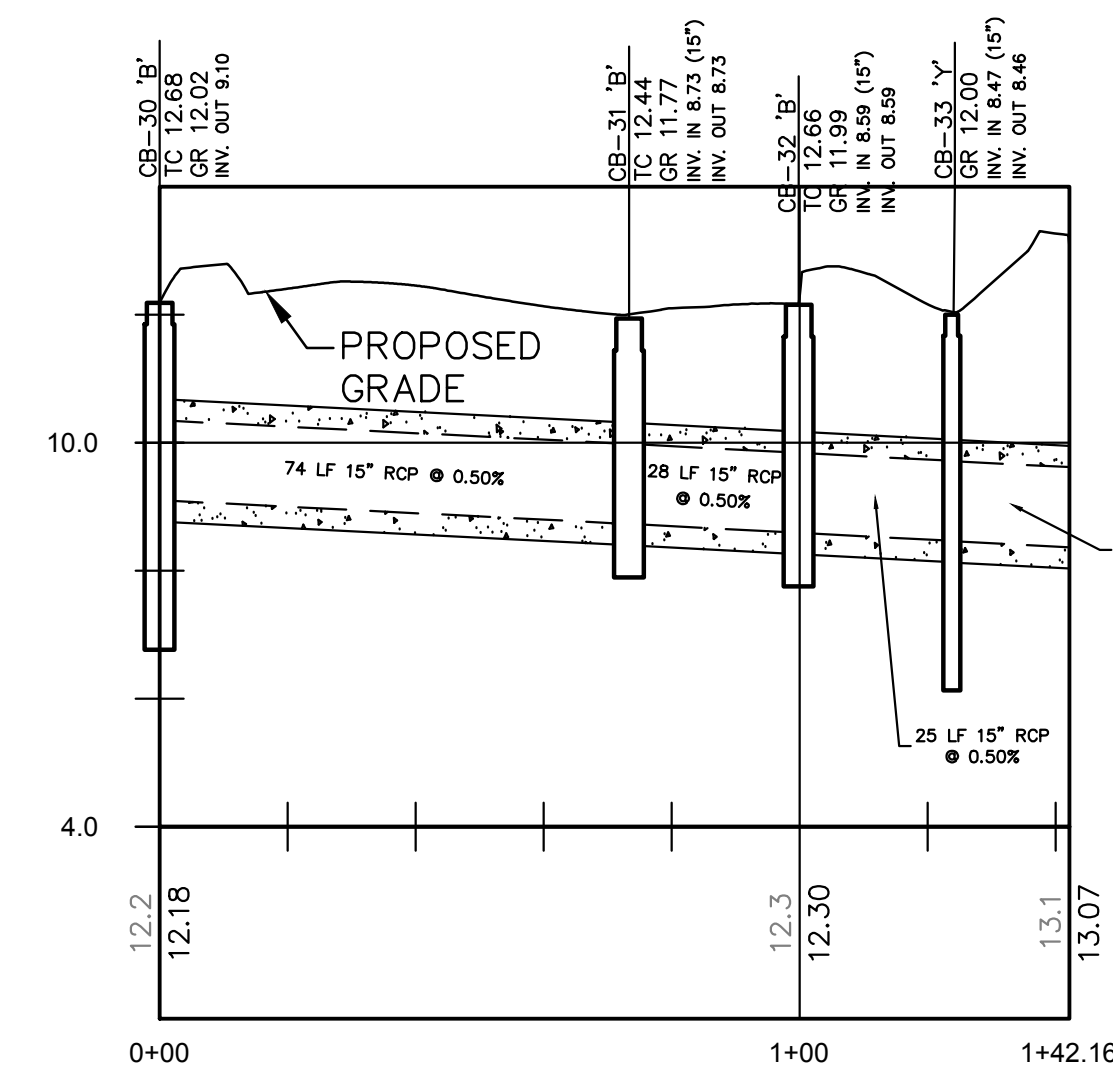
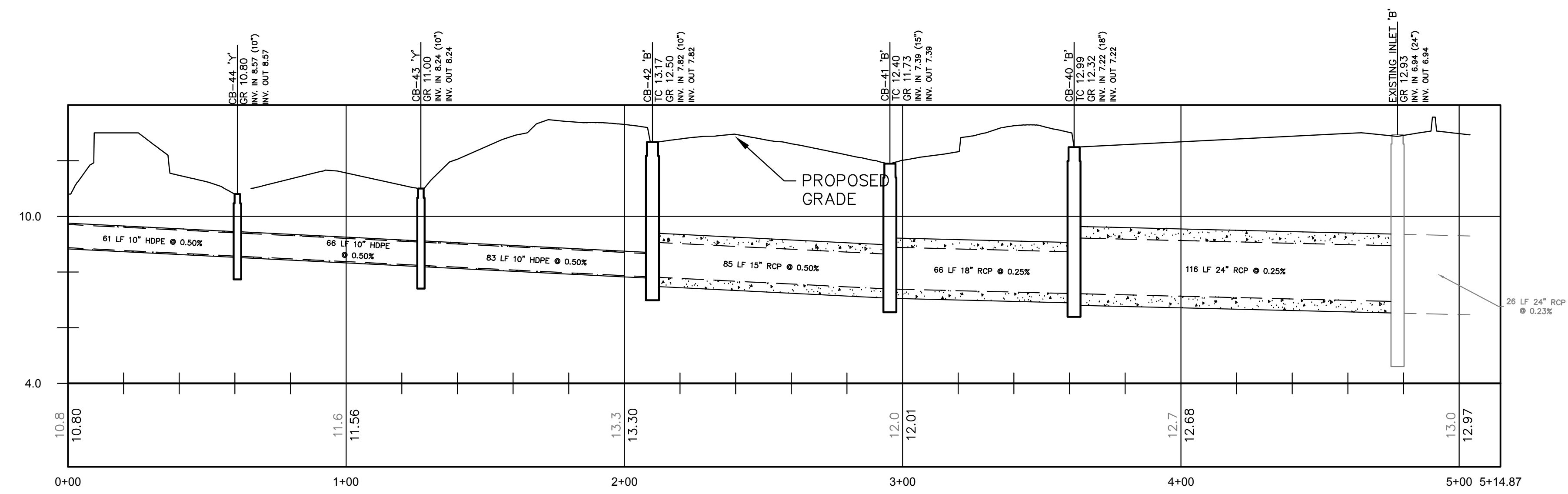
AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN HARRISON YARDS - PHASE II BLOCK 133: LOT 1.03 & 1.05 UTILITY PLAN		TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY	
SITUATED IN		TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY	
DATE: 6/4/20		DATE: 6/4/20	
PROJECT NO.: EQ-191		PROJECT NO.: EQ-191	
DRAWING NAME: GS-UTILITY.dwg		DRAWING NAME: GS-UTILITY.dwg	
DRAWN BY: EMD		DRAWN BY: EMD	
CHECKED BY: KES		CHECKED BY: KES	
RELEASED BY:		RELEASED BY:	
VERTICAL SCALE: N/A		VERTICAL SCALE: N/A	
HORIZONTAL SCALE: 1"=30'		HORIZONTAL SCALE: 1"=30'	
DATE: 09/26/19		DATE: 09/26/19	
REV. PER TOWN COMMENTS		REV. PER TOWN COMMENTS	
REV. PER ARCHITECTURAL CHANGES		REV. PER ARCHITECTURAL CHANGES	
REV. PER ARCHITECTURAL CHANGES		REV. PER ARCHITECTURAL CHANGES	
DATE		DATE	
DRAWN BY: CHECKED BY:		DRAWN BY: CHECKED BY:	

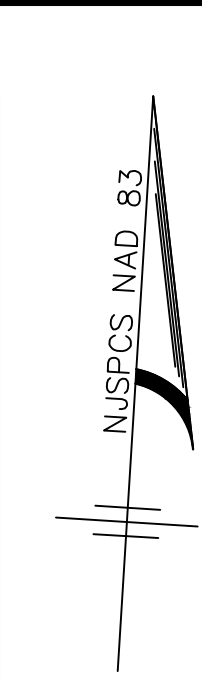
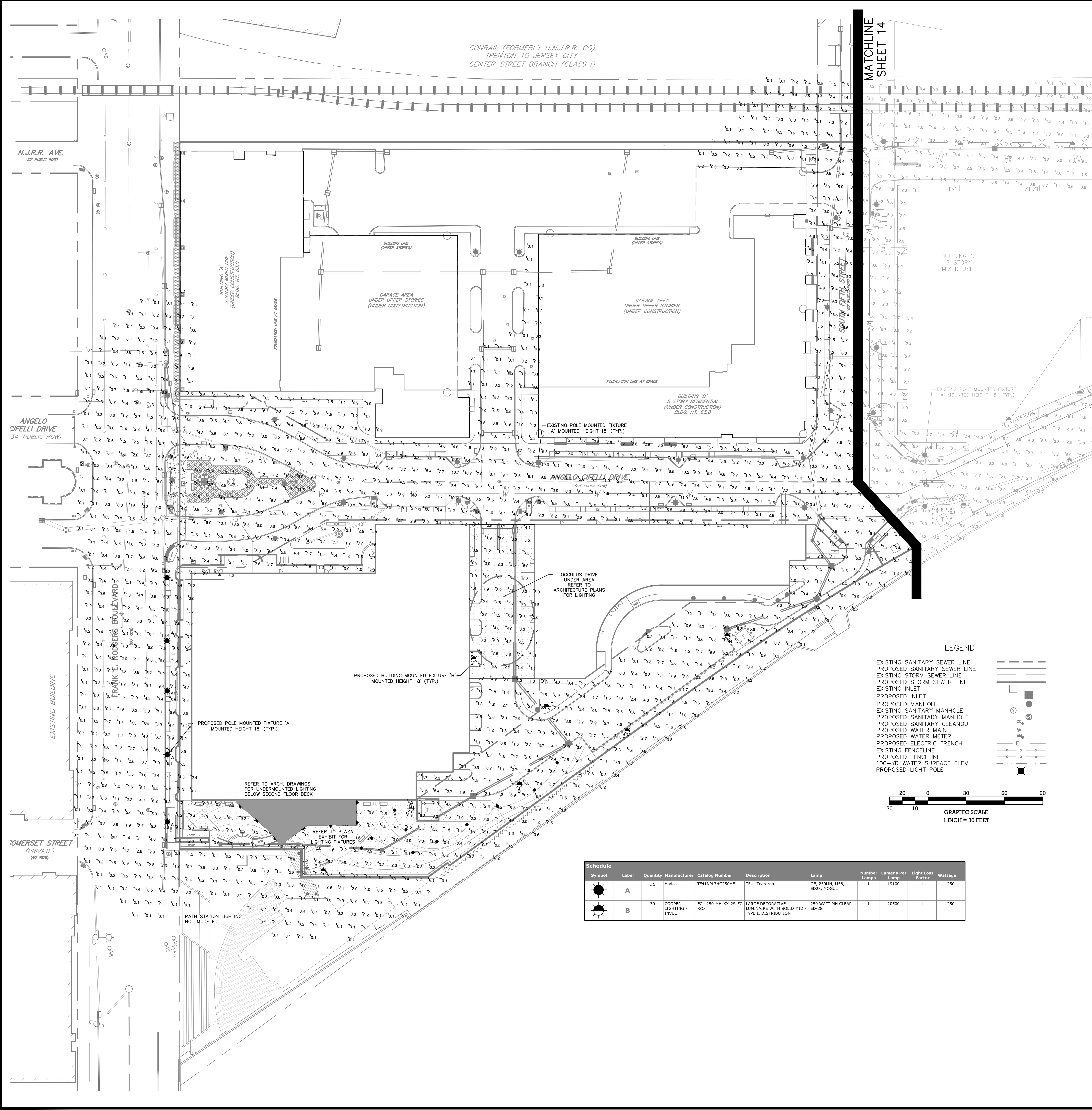
Sheet Number
10 OF 21



- 1) All proposed onsite utilities shall be underground.
- 2) All sanitary sewer mains shall be owned & maintained by the Town of Harrison who will be provided with a blanket utility & access easement for the purpose of repair and service.
- 3) See MEP/Architectural plans for all utility connections to building, all utility connections shall be reviewed & verified by the contractor prior to start of site construction.
- 4) Utility locations may vary from the plan & shall be field verified prior to construction.
- 5) Pipe lengths indicated are measured center to center of each structure.
- 6) Building roof leaders and clear waste from building shall connect to site storm sewer system. Connection points shall be coordinated with architectural and plumbing plans.
- 7) Electrical, telephone, CATV, and all other wire-served utility extensions and services shall be installed underground with standards established by the servicing utility company.
- 8) All water mains shall be installed with a minimum of 4 ft. of cover to prevent freezing.
- 9) All sewer mains and laterals shall be PVC SDR-35 or Ductile Iron Pipe Class PSI 350 as indicated on the plans unless otherwise noted.
- 10) All RCP shall be class 3 wall, bell and spigot type, unless otherwise noted.
- 11) All DIP water main shall be class 50, double cement lined interior wall, bituminous coated external wall with polyethylene encasement.
- 12) Adequate structural support of sewers and water lines at all points of crossing shall be provided to prevent excessive deflection, settlement, or damage. The crossings shall be arranged such that the joints in the pipes are equidistant and as far apart as possible from the other pipe.
- 13) Where utilities cross beneath existing / proposed water mains or storm and sanitary sewers, the utility contractor shall provide adequate structural support by installing select backfill from the utility to the spring line of the water main or sewer. Select backfill shall be clean sand or NIDOT soil I-9 compacted to 95% of the modified proctor aggregate type density ASTM D-698 Method D. It shall extend a minimum of 10 feet each way from the centerline of the crossing.
- 14) Electrical transformer pad specifications, conduit locations, and installation to be coordinated with PSEG prior to installation.
- 15) A 10-ft. horizontal distance shall separate water mains and sanitary sewer mains. Where such separation is not possible, the water mains and sanitary sewer mains shall be installed in separate trenches with the water main at least 18 inches above the sewer main. Where such vertical separation is not possible, the sewer main shall be constructed with watertight joints for a distance of 10 feet in either direction of the water main (N.J.A.C. 7:10-11.7(d)-5).
- 16) All existing cleanout structures shall be checked, repaired and/or restored as needed prior to connection by the contractor.
- 17) All sanitary and drainage structures shall be precast concrete.
- 18) Electric transformers servicing the building shall incorporate public art by being painted in a creative fashion subject to approval by both the HRA & PSEG.
- 19) Project is located within an area served by combined storm and sanitary sewers.
- 20) Gas and electric service to be coordinated with PSEG.







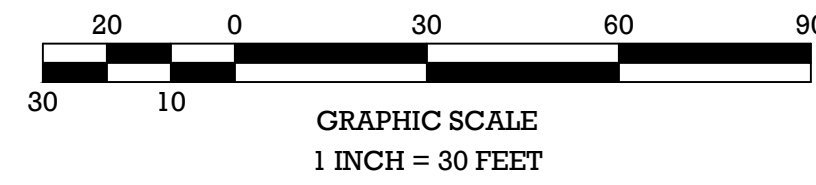
Lighting Notes

- Project site known and designated as Lot 1; Block 133 within the Town of Harrison, New Jersey as shown on the current tax assessment map - sheet 16, containing a total of 10.5 acres and is located entirely within the Mixed Use District of the Waterfront Redevelopment Plan. Property has since been subdivided but the tax map has not been officially updated.
- Lot information and topography based upon survey entitled "ALTA/NSPS Land Title Survey, Lots 1.03, 1.04 & 1.05; Block 133, 600-798 Frank E. Rodgers Boulevard, situated in the Town of Harrison, Hudson County, New Jersey, revised 10/19/18" prepared by MidAtlantic Engineering Partners.
- Site coordinates: 695,135' N, 588,069' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- The proposed light fixtures shall be installed with a mounting height of 18 ft. (fixture to grade), with a supporting pole that shall not exceed 20 feet in height.
- Poles shall be set at least 3 ft. behind the face of curb unless otherwise noted.
- Pole bases to be by contractor.
- Lights shall operate based on a programmed and managed schedule by owner. Reduced intensity for overnight hours may be utilized, provided adequate down to dusk lighting remains on at all times.
- Cut-off shields, house side shields, etc shall be provided as required.

MATCHLINE
SHEET 14

LEGEND

- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER MAIN
- PROPOSED WATER METER
- PROPOSED ELECTRIC TRENCH
- EXISTING FENCELINE
- PROPOSED FENCELINE
- 100'-R WATER SURFACE ELEV.
- PROPOSED LIGHT POLE



Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor
	A	35	Hado	TF41NPL3HG250HE	TF41 Teardrop	GE, 250MH, MSB, ED28, MOGUL	1	19100	1
	B	30	COOPER LIGHTING - INVUE	EC-250-MH-XX-25-FG-ISO	LARGE DECORATIVE LUMINAIRE WITH SOLID MID-TYPE II DISTRIBUTION	250 WATT MH CLEAR ED-28	1	20500	1

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
LIGHTING PLAN

SITUATED IN
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

MidAtlantic
Engineering Partners, LLC
1500 Morris Avenue, Suite 200
Harrison, NJ 08033
908.271.4242

Certificate of Authorization No. 24020818-0000
Louis L. Ziegner V.P.E. PE No. GE0420600
Matthew J. Brennan P.E. PE No. GE0446000
William J. Poretti V.P.E. PE No. UGP150000

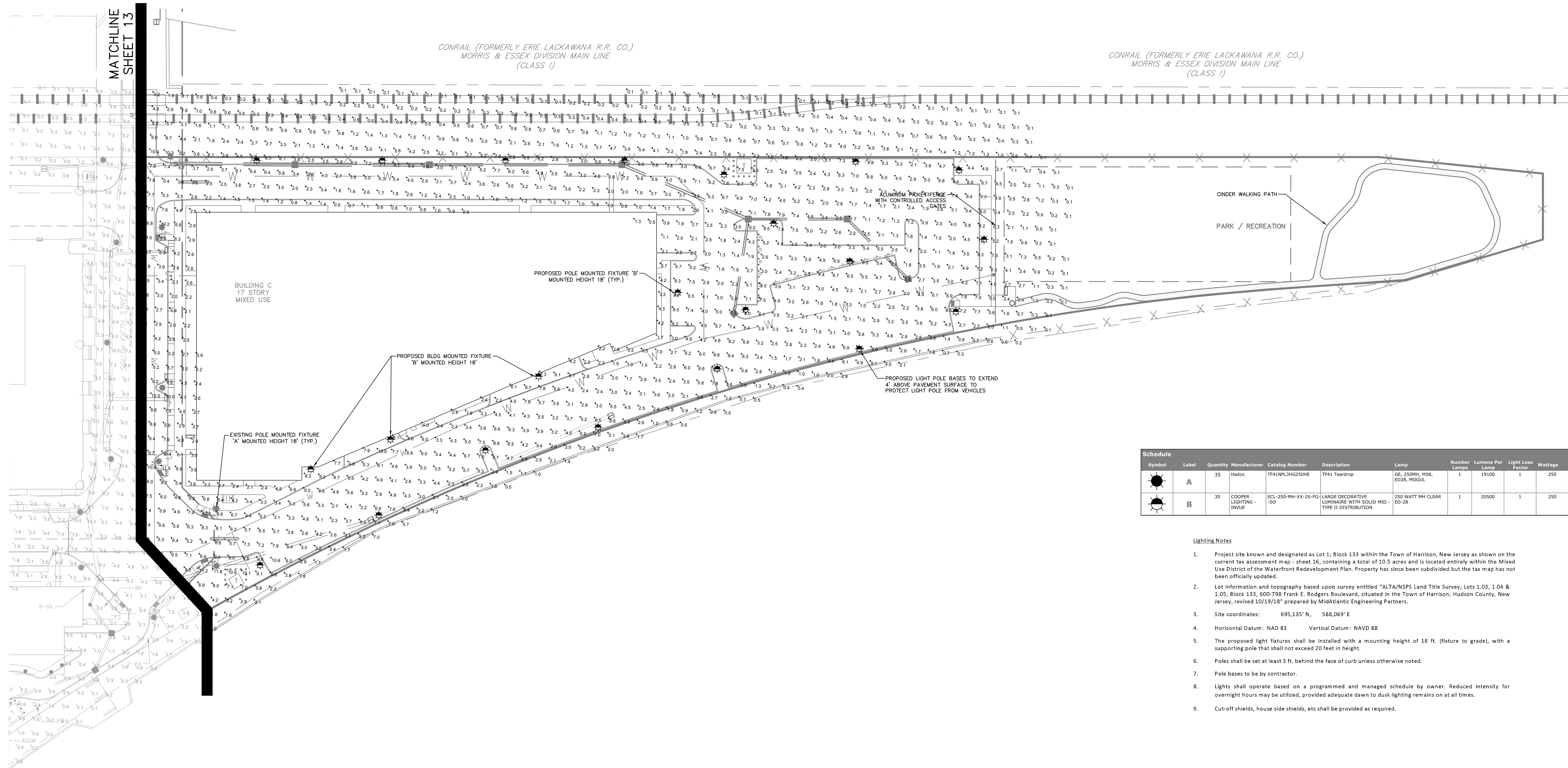
Drawn By: EMD
Date: 09/26/19
Project No.:
Drawing Name: 06-L&L.dwg

Checked By: KES
Horizontal Scale: 1"=30'
Vertical Scale: N/A

Released By:
Date: 05/14/20
Project No.:
Drawing Name: 06-L&L.dwg

Revisions
Date
Description
By
Checked By

Sheet Number
13 OF 21



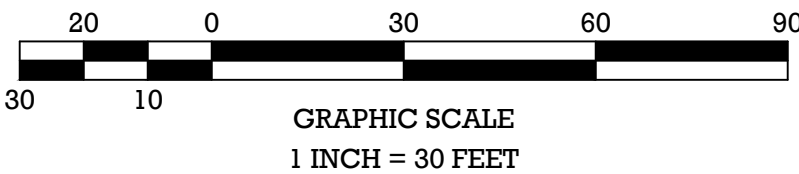
Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	35	Hado	TF41NPL3G250HE	TF41 Teardrop	GE, 250MH, M58, ED26, MODUL	1	19100	1	250
	B	30	COOPER LIGHTING - INVUE	ECL-250-MH-XX-25-FG-SO	LARGE DECORATIVE LUMINAIRE WITH SOLID MID-TYPE II DISTRIBUTION	250 WATT MH CLEAR ED-28	1	20500	1	250

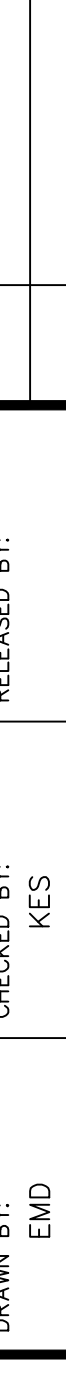
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8. Lights shall operate based on a programmed and managed schedule by owner. Reduced intensity for overnight hours may be utilized, provided adequate down to dusk lighting remains on at all times.
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LEGEND

EXISTING SANITARY SEWER LINE =====
 PROPOSED SANITARY SEWER LINE =====
 EXISTING STORM SEWER LINE =====
 PROPOSED STORM SEWER LINE =====
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 PROPOSED INLET [Symbol: Square with circle] [Symbol: Square with circle]
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 PROPOSED ELECTRIC TRENCH [Symbol: Square with circle] [Symbol: Square with circle]
 EXISTING FENCE LINE [Symbol: Square with circle] [Symbol: Square with circle]
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 100'-WYR WATER SURFACE ELEV. [Symbol: Square with circle] [Symbol: Square with circle]
 PROPOSED LIGHT POLE [Symbol: Square with circle] [Symbol: Square with circle]





Michael
Engineering & Planning, LLC

AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS – PHASE II
BLOCK 133; LOT 1.03 & 1.05
LIGHTING PLAN

Sheet Number **14** OF **21**

TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

Certificate of Amendment No. 24-0A28-B-009

Location: Ziegler IV P.E.
 PE No. 0504525000
 E No. 0504525000
 William J. Pecher II P.E.
 009-912-4440

Galloway, 19C Centre
 5 Cornwell Way, Suite 300
 Galloway, NJ 08045
 PE No. 0504525000

CONRAIL (FORMERLY U.N.J.R.R. CO)
TRENTON TO JERSEY CITY
CENTER STREET BRANCH (CLASS I)

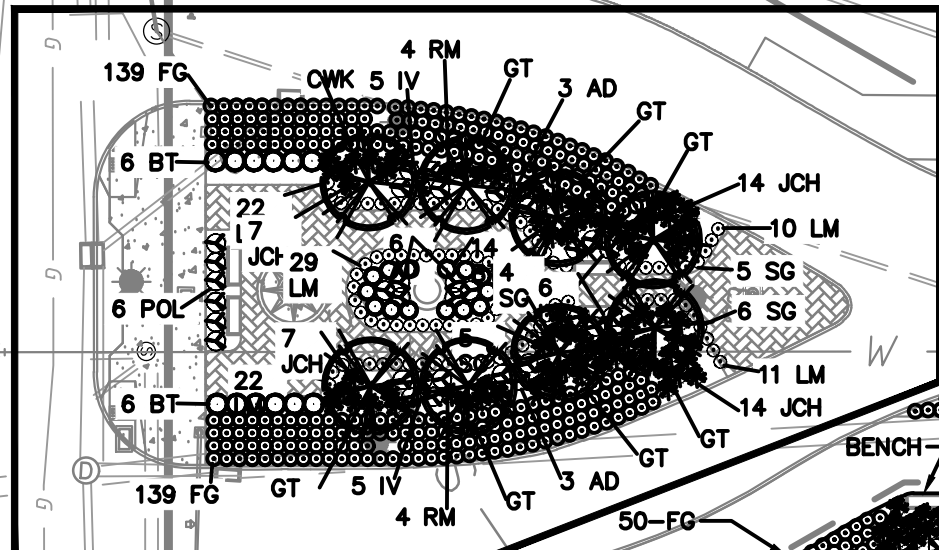
MATCHLINE
SHEET 16

Planting Notes

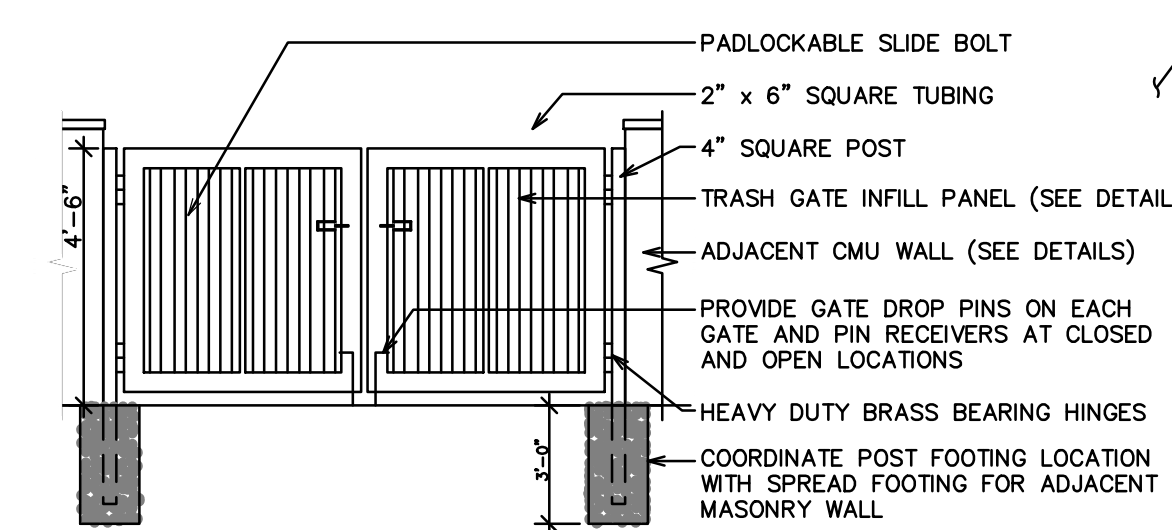
1. The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by owner's representative prior to installation.
2. Plants shall be typical of their species and variety; have normal growth habits; well-developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
3. All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least two years from the date of final approval by the township. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guaranteed equal to that stated above.
4. Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery.
5. Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI z60.1 (rev. 2001) "American Standard for Nursery Stock" as published by the American Nursery and Landscape Association.
6. All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
7. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
8. Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with "wilt-pruf" or equal as per manufacturer's instructions.
9. Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
10. All injured roots shall be pruned to make clean ends before planting utilizing clean, sharp tools. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
11. Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
12. All planting beds shall be mulched with 3" layer of double shredded hardwood bark mulch.
13. New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.
14. Alternative forms of plantings or similar species may be substituted where availability is limited, with prior approval.

EXHIBIT OF ISLAND LANDSCAPE

THIS LANDSCAPING IS PART AND PARCEL OF PHASE 1 APPROVALS
AND ARE SHOWN HEREON FOR INFORMATIONAL PURPOSES



BASIS OF DESIGN:
AMETCO DOUBLE SWING GATE VENETIAN 100 DESIGN WITH GALVANIZED STEEL FIXED
VERTICAL LOUVERS



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.

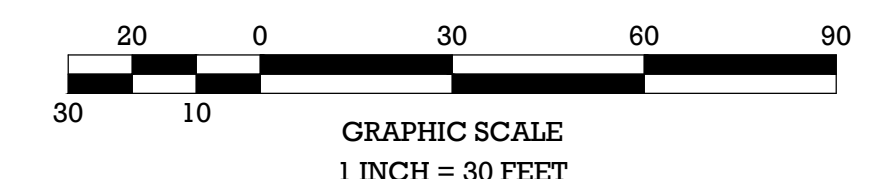
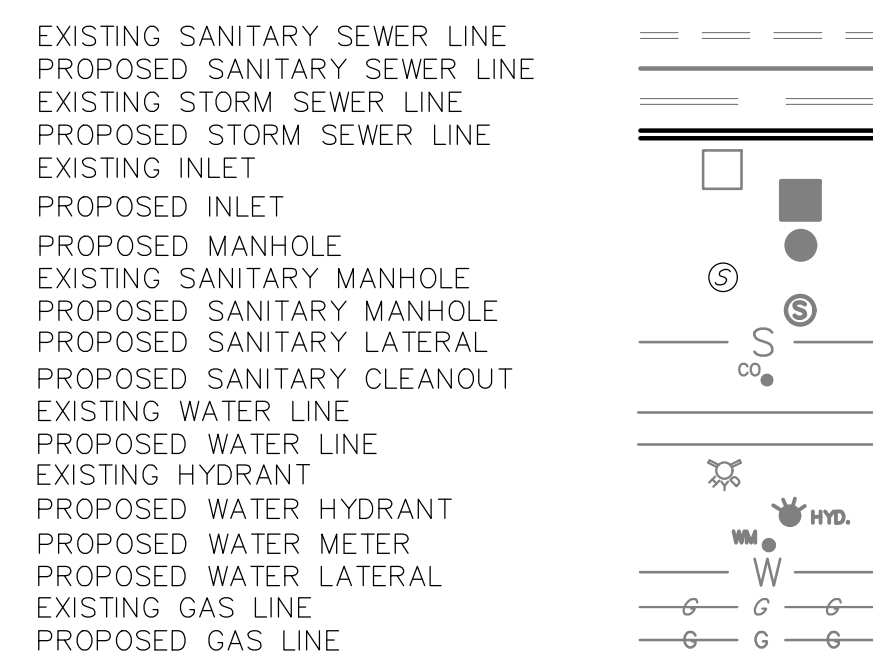
TRANSFORMER ENCLOSURE DETAIL

NOT TO SCALE

PLANT SCHEDULE- SHEETS 14 & 15 (INCLUDES PLAZA AREA)

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
APS	11	Acer platanoides 'Summershade'	Summershade Maple	3-31/2' cal.	B&B	Mature Ht. = 50 ft.
AR	10	Acer rubrum 'October Glory' TM	October Glory Maple	3-31/2' cal.	B&B	Mature ht. 40-50'
BP	1	Betula papyrifera	Paper Birch	21/2-3' cal.	B&B	
GT	9	Gleditsia triacanthos inermis 'Halka'	Halka Thornless Honey Locust	3-31/2' cal.	B&B	
TC	14	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	3-31/2' cal.	B&B	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
CSAF	16	Cornus sericea	Arctic Fire Red Twig Dogwood	18-24" HT.	B&B	Drought tolerant plant
HQ	4	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oakleaf Hydrangea	18-24" HT.	B&B	
IV	3	Ilex verticillata	Winterberry Holly	5-6' HT.	B&B	
MP	10	Myrica pensylvanica	Northern Bayberry	3-4' HT.	B&B	
SJAW	14	Spiraea japonica 'Anthony Waterer'	Japanese Spiraea	24-30"	B&B	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ICC	90	Ilex crenata 'Compacta'	Dwarf Japanese Holly	24-30"	B&B	
IGL	84	Ilex crenata 'Green Lustre'	Green Luster Japanese Holly	18-24" HT.	B&B	Drought tolerant plant
IGD	32	Ilex glabra 'Densa'	Inkberry Holly	24-30"	B&B	Mature ht. of 8'
JCH	32	Juniperus chinensis horizontalis	Horizontal Juniper	18-24"	B&B	
JHML	12	Juniperus horizontalis 'Mother Lode'	Creeping Juniper	15-18"	B&B	
TCN	21	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	18-24" HT.	B&B	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
PA	13	Picea abies	Norway Spruce	6-7' HT.	B&B	
PM	3	Pseudotsuga menziesii	Douglas Fir	7-8' HT.	B&B	
FLOWERING SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
AEAC	19	Azalea Encore 'Autumn Coral' TM	Autumn Coral Azalea	18-24" HT.	B&B	
AEAM	6	Azalea Encore 'Autumn Moonlight' TM	Encore Azalea	18-24" HT.	B&B	
BT	9	Berberis thunbergii	Japanese Barberry	18-24" HT.	B&B	
EA	13	Euronymus alatus	Burning Bush	18-24" HT.	B&B	
HMTS	14	Hydrangea macrophylla 'Twist-n-Shout'	Twist-n-Shout Hydrangea	24-30"	B&B	
KLL	61	Kalmia latifolia 'Little Linda'	Miniature Pink Mountain Laurel	18-24" HT.	B&B	Drought and heat tolerant plant
RD	25	Rosa x Drift	Pink Drift Rose	18-24" HT.	B&B	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ALS	2	Amelanchier laevis 'Snowcloud'	Snowcloud Allegheny Serviceberry	2-21/2' cal.	B&B	
PCT	5	Prunus cerasifera 'Thundercloud'	Thundercloud Plum	7-8' HT.	B&B	
PSA	2	Prunus subhirtella 'Autumnalis'	Autumn Flowering Cherry	8-10' HT.	B&B	
PERENNIAL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
HSD	32	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 gal.	Pot	Mature ht. 3-4'
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ASGM	12	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	21/2-3' cal.	B&B	
FLOWERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
LM	65	Liriope muscari	Lily Turf	1 gal.	Pot	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
FG	138	Festuca glauca	Blue Fescue	2 ga.	Pot	
PVDB	12	Panicum virgatum 'Dallas Blues' TM	Dallas Blues Switch Grass	1 gal.	Pot	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
HO	42	Hosta x 'Night Before Christmas'	Plantain Lily	1 gal.	Pot	Mature ht. 2'
PAH	41	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 gal.	Pot	Drought tolerant plant

LEGEND



AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
LANDSCAPING PLAN

SITUATED IN
TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

MidAtlantic

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

Louis L. Ziegner V.P.E.
PE No. 060426600
Matthew J. Reimann P.E.
PE No. 060446000
Matthew J. Foster P.E.
PE No. 060410000

Certificate of Authorization No. 24020818000

Expires 09/30/2020

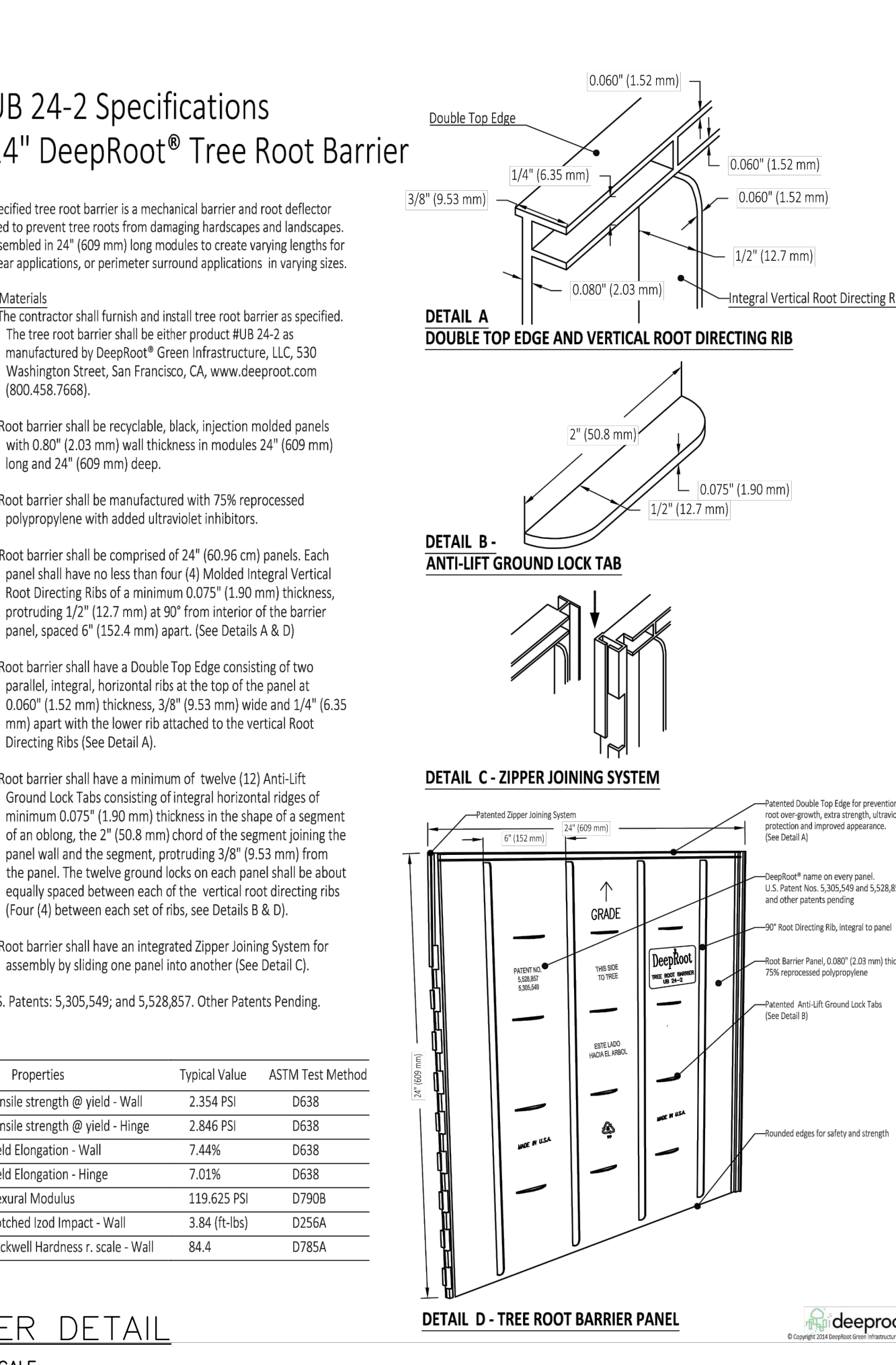
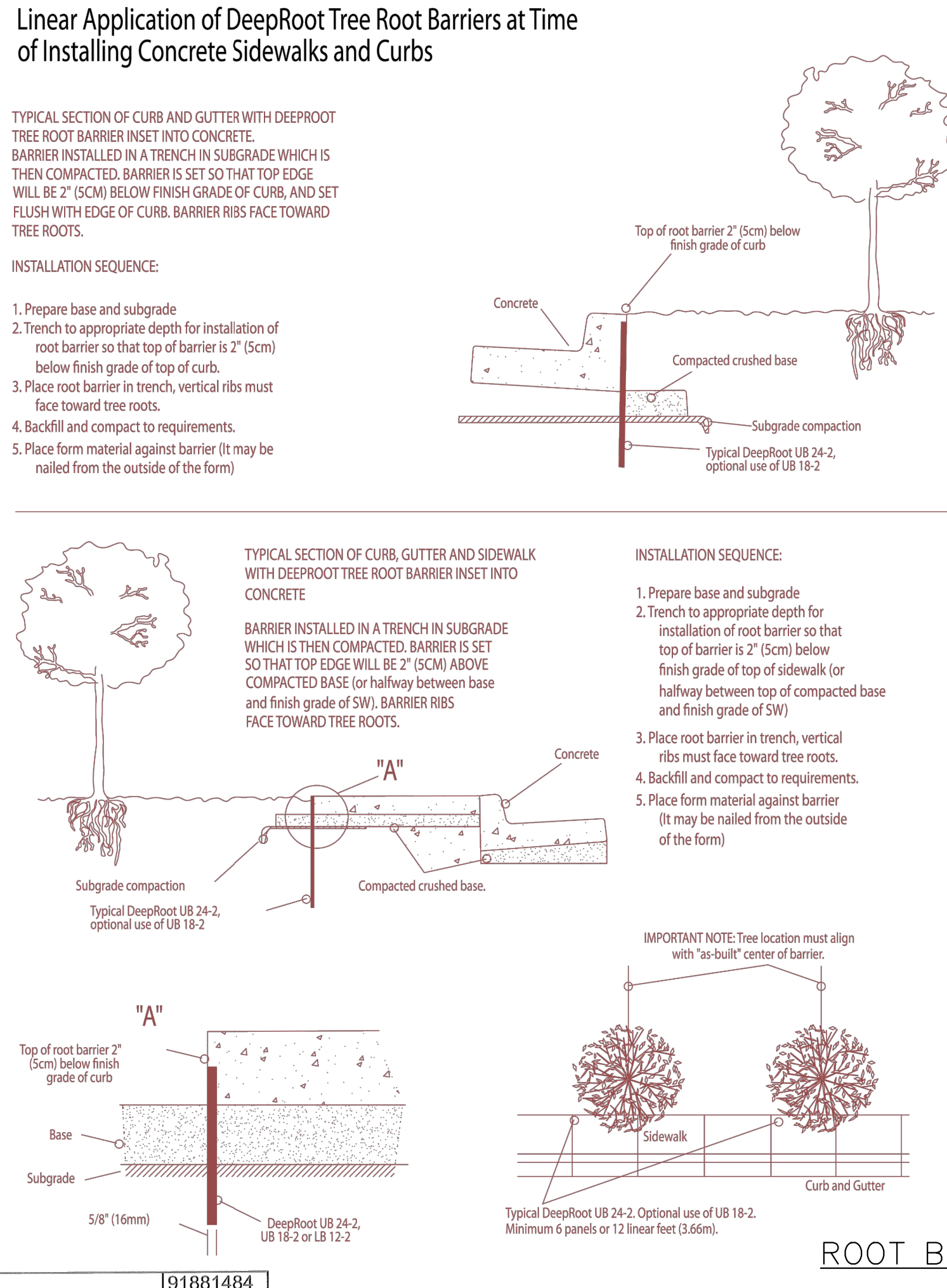
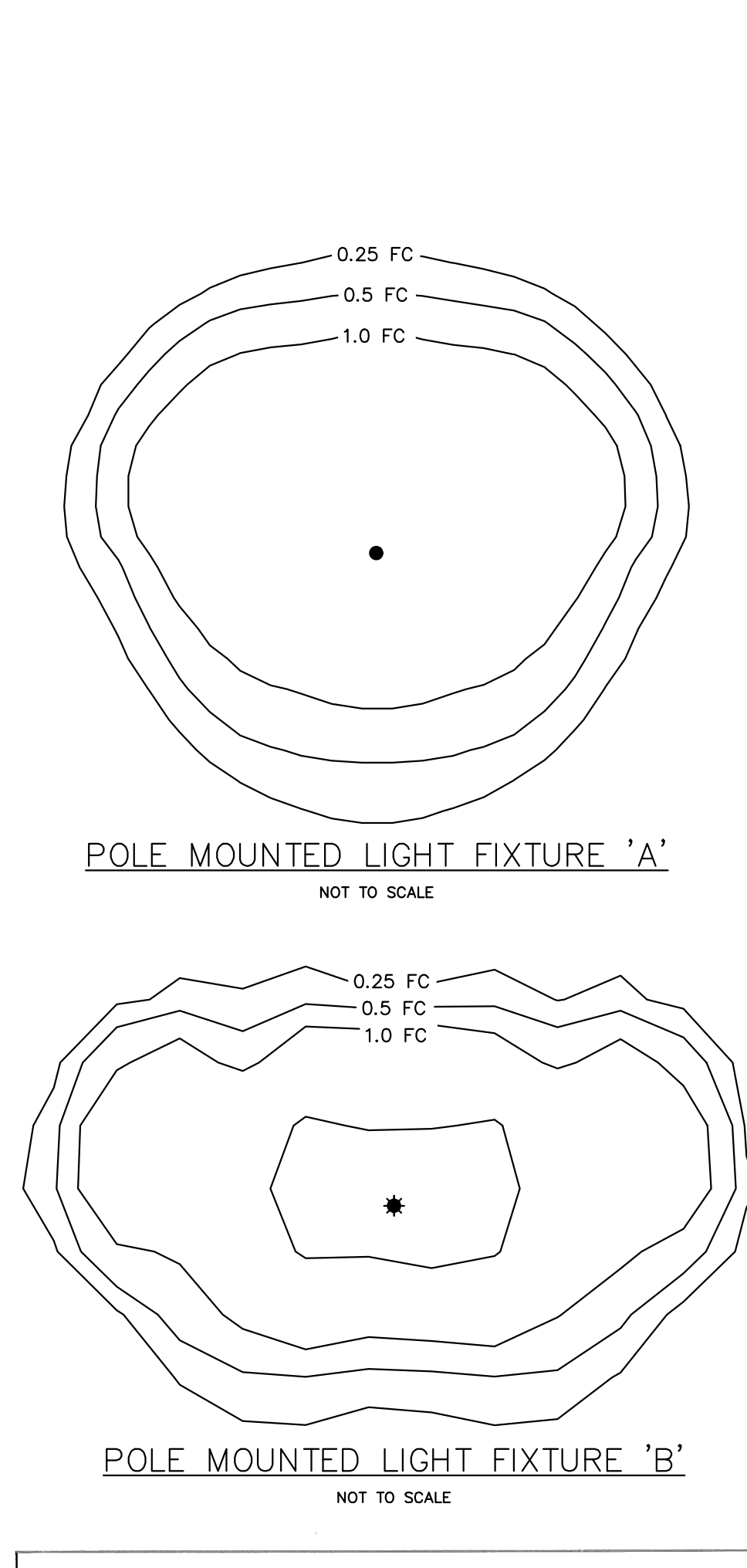
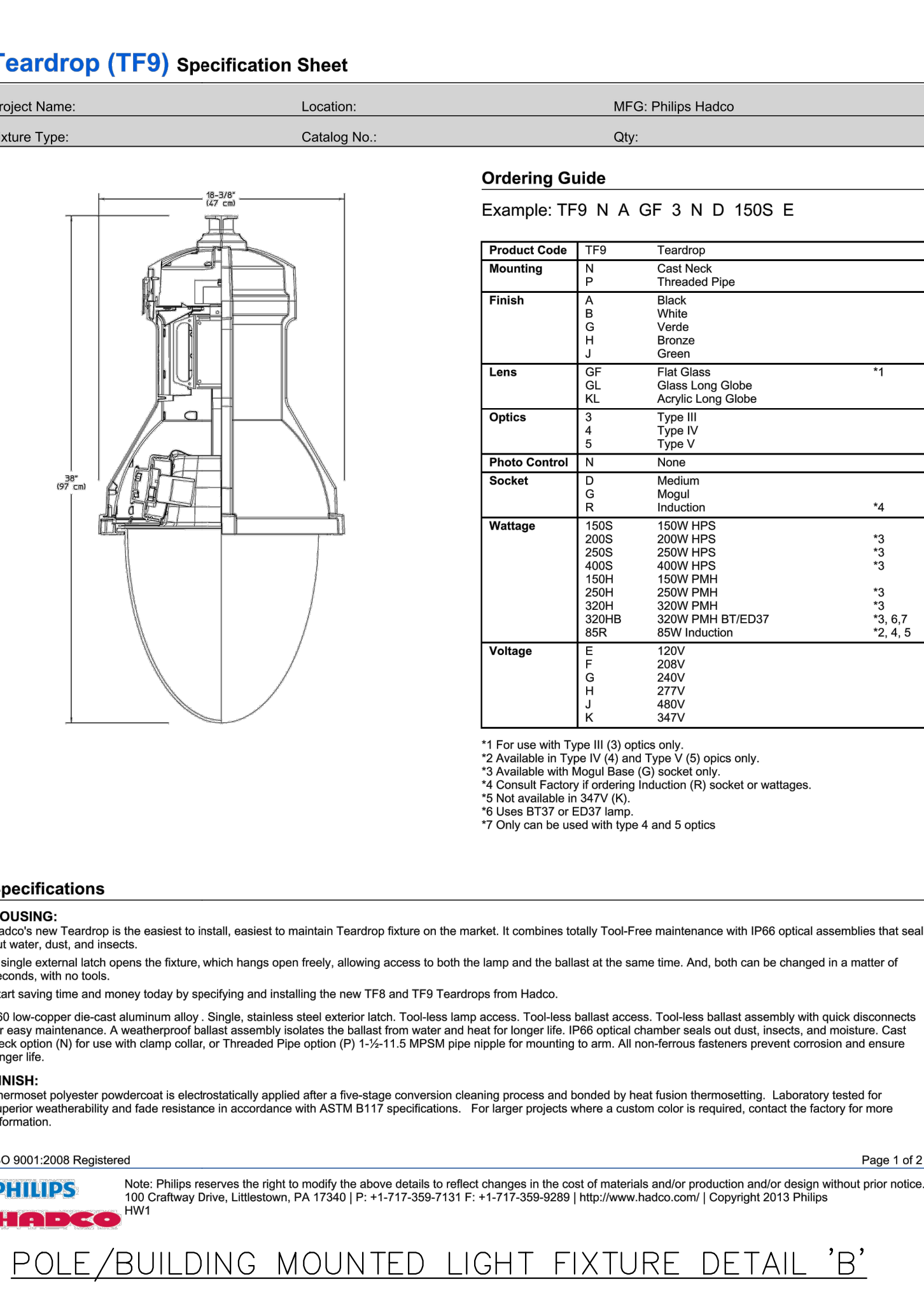
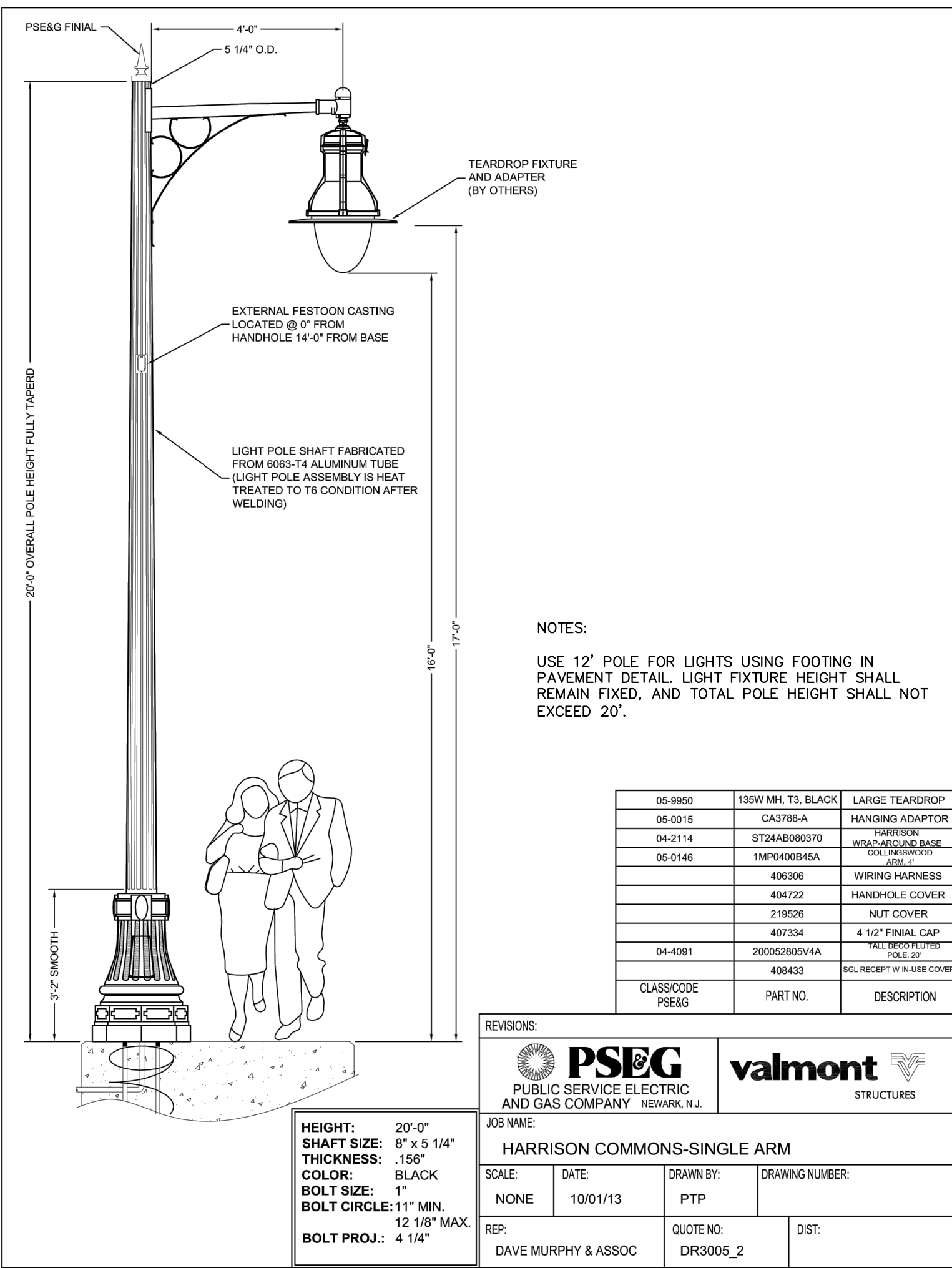


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GRAPHIC SCALE
1 INCH = 30 FEET

- Sheet Number
16 OF **21**



REVISIONS	DATE	BY	DESCRIPTION
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3	12/05/19	JSR	REV. PER ARCHITECTURAL CHANGES
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HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT: SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE BEST RECOMMENDED TO ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: **SPRING - 3/1-5/15 & FALL - 8/15-10/1**
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED, AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HESCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ-DECA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS, AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SOODING, OR PLANTING. A DEPTH OF 5 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNER'S INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY THE DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS.

CONSTRUCTION SEQUENCE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. BUILDING DEMOLITION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED SOIL EROSION PERMIT. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION OF THE PROPOSED BUILDINGS/IMPROVEMENTS WILL COMMENCE IN SPRING 2020 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL APPROXIMATELY AS FOLLOWS:

PHASE	DURATION
1. TEMPORARY SOIL EROSION FACILITIES	IMMEDIATELY
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE	FOLLOWING PAVEMENT REMOVAL
3. INSTALL SILT FENCE	IMMEDIATELY
4. SITE IMPROVEMENT REMOVALS	2 MONTHS
5. INLET PROTECTION	PRIOR TO SITE REMOVALS
6. MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSLY
7. FINAL SEEDING AND STABILIZATION	2 WEEKS

* TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE No. 2 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

ADDITIONAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
- THE SOIL EROSION INSPECTORMAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT A MINIMUM, BY THE END OF EACH WORK DAY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNER.
- STEEP SLOPES TO RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE No. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES).

DUST CONTROL NOTE

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE

STANDARD FOR STABILIZATION WITH MULCH ONLY

DEFINITION

STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS.

PURPOSE

TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED. WOOD CHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM.

METHODS AND MATERIALS

- SITE PREPARATION
 - GRADE, AS NEEDED AND FEASIBLE, TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR APPLYING AND ANCHORING MULCH. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING, PAGE 19-1.
 - EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- PROTECTIVE MATERIALS
 - UNROTTED SMALL GRAIN STRAW, HAY, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1000 SQUARE FEET, AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS OR NETTING REDDOW. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - ASPHALT EMULSION OR CUTBACK ASPHALT IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALLONS PER ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS OR MACHINES IS NOT A PROBLEM.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED - UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHING.
 - MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
 - GRAVEL, CRUSHED STONE OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- MULCH ANCHORING
 - MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.
 - PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS.
 - CROSS-CROSS AND A SQUARE PATTERN SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE WETTED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - MULCH ANCHORING TOOL - A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THE PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. TOOL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE DONE ON THE CONTOUR.
 - LIQUID MULCH-BINDERS
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
- USE OF ONE OF THE FOLLOWING:
 - EMULSIFIED ASPHALT - CSS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2.
 - APPLY 0.04 GAL/SQ. YD. OR 194 GAL/ACRE ON FLAT SLOPES AND SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET OR MORE HIGH USE 0.075 GAL/SQ. YD. OR 363 GAL/ACRE.
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - SYNTHETIC OR ORGANIC BINDERS - BINDERS SUCH AS CURASOL, DCA-70, PETRO-SET AND TERRA TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. NOTE:
 - ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

STANDARD FOR STORM SEWER INLET PROTECTION

DEFINITION

A TEMPORARY BARRIER AND SETTLING FACILITY INSTALLED AT A STORM SEWER INLET.

PURPOSE

THE PURPOSE OF STORM SEWER INLET PROTECTION IS TO INTERCEPT AND RETAIN SEDIMENT, THUS PREVENTING THE ENTRANCE OF SEDIMENT INTO THE STORM SEWER SYSTEM.

CONDITIONS WHERE PRACTICE APPLIES

- CONTRIBUTING DRAINAGE AREA IS 3 ACRES OR LESS.
- A STORM SEWER OR THE OUTLET CHANNEL OF A STORM SEWER NEEDS PROTECTION FROM SEDIMENT.
- TRAFFIC WILL NOT DESTROY OR CAUSE CONSTANT MAINTENANCE OF THE STORM SEWER INLET PROTECTION.
- A TRAFFIC HAZARD WILL NOT BE CREATED.
- A FLOODING PROBLEM WILL NOT BE CREATED.

WATER QUALITY ENHANCEMENT

THE PRIMARY BENEFIT TO WATER QUALITY IS REMOVAL SEDIMENT FROM STORMWATER RUNOFF PRIOR TO ENTERING THE STORM SEWER SYSTEM. AS AN ADDED BENEFIT, OTHER FLOATABLE DEBRIS, SUCH AS VEGETATIVE MATTER AND LITTER MAY ALSO BE FILTERED OUT OF THE RUNOFF.

DESIGN CRITERIA

THE FOLLOWING APPLIES TO ALL METHODS OF STORM SEWER INLET PROTECTION:

- MUST SLOW THE STORM WATER, PROVIDE THE COARSE SEDIMENT PARTICLES A CHANCE TO SETTLE, AND PROVIDE AN AREA TO RETAIN THE PARTICLES THAT HAVE SETTLED.
- IN ALL CASES, THE INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
- THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.

INSPECTIONS SHALL BE FREQUENT, MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD THE INLET HAS BEEN STABILIZED.

STANDARD FOR SEEDING SPECIFICATIONS

TEMPORARY SEEDING

TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUNDS PER 1,000 SQ. FT. (40 lbs/Ac.). LIMESTONE (PULVERIZED DOLOMITE EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) SHALL BE APPLIED AT THE RATE OF 135 lbs/1,000 SQ. FT. (3 TONS/Ac.) AND FERTILIZER (10-20-10 OR EQUIVALENT) AT THE RATE OF 14 lbs/1,000 SQ. FT. (600 lbs/Ac.).

MULCHING IS REQUIRED ON ALL SEEDING AND SHALL BE ACCOMPLISHED AS FOLLOWS:

- MULCH MATERIALS SHOULD BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT A RATE OF 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FEET. MULCH BLOWERS SHOULD NOT GRIND OR CHOP THE MATERIAL.
- SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85 PERCENT OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- MULCH ANCHORING SHALL BE ACCOMPLISHED USING EITHER PEG AND TWINE, MULCH NETTING, MULCH ANCHORING COLLIER TOOL OR LIQUID MULCH-BINDERS, PER THE ACCOMPANYING "STABILIZATION WITH MULCH ONLY" SPECIFICATION.

* OPTIMUM SEEDING DATES: 3/1 - 5/15 AND 8/15 - 10/1

PERMANENT SEEDING

- TOPSOIL TO BE PLACED TO A DEPTH OF 4 INCHES ON EXPOSED SOILS UPON COMPLETION OF FINAL GRADING.
- SEED IS TO BE UNIFORMLY APPLIED TO THE NORMAL DEPTH OF 1/4 INCH TO 1/2 INCH (EXCEPT HYDRO SEEDING). SEED MIXTURE 15, AS SHOWN ON PAGE 4-11 IN THE SOIL EROSION STANDARDS. THE SEEDING RATE SHALL BE:

SEED MIXTURE	PLANTING RATE LBS PER ACRE	PLANTING RATE LBS PER 1,000 SF
HARD FESCUE	120	2.7
PERENNIAL RYEGRASS	30	0.7
KENTUCKY BLUEGRASS BLEND	40	0.9

* OPTIMAL SEEDING DATES: 3/1-4/30 AND 8/15-10/15

- MULCHING WILL BE ACCOMPLISHED PER THE BELOW TEMPORARY SEEDING SPECIFICATIONS.

* MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SOIL CAN BE IRRIGATED.

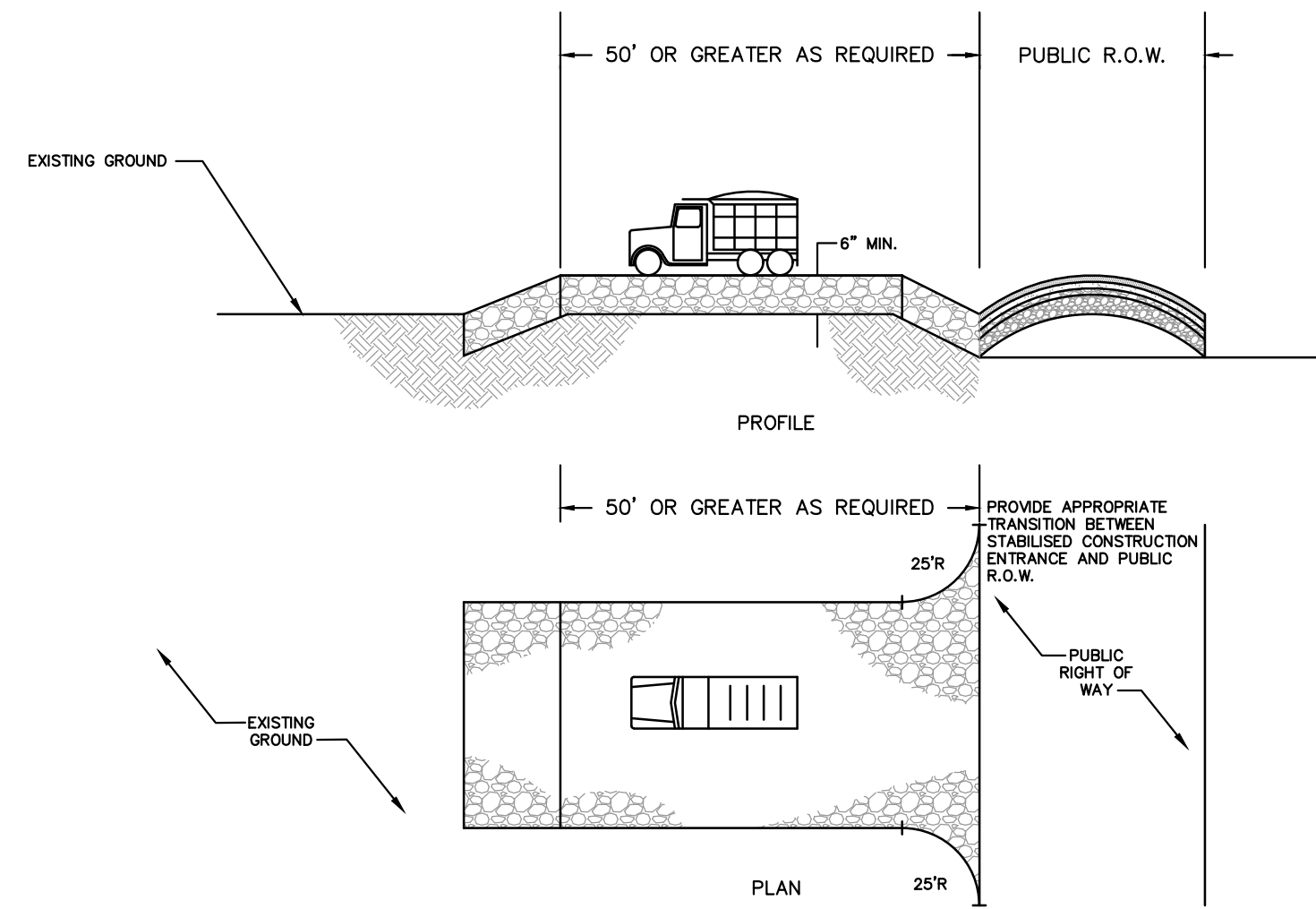
SOIL TEXTURE

SUITABLE EQUIPMENT WILL BE USED TO PREPARE A REASONABLE, UNIFORM, FINE SEED BED TO A MINIMUM DEPTH OF 4 INCHES.

APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIME SHALL BE PULVERIZED DOLOMITE LIMESTONE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM TO GRASSES AND LEGUMES. THE FOLLOWING TABLE IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION RATES.

SOIL TEXTURE	TONS/ACRE	LBS./1000 SQ. FT.
CLAY, CLAY LOAM, & HIGHLY ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.

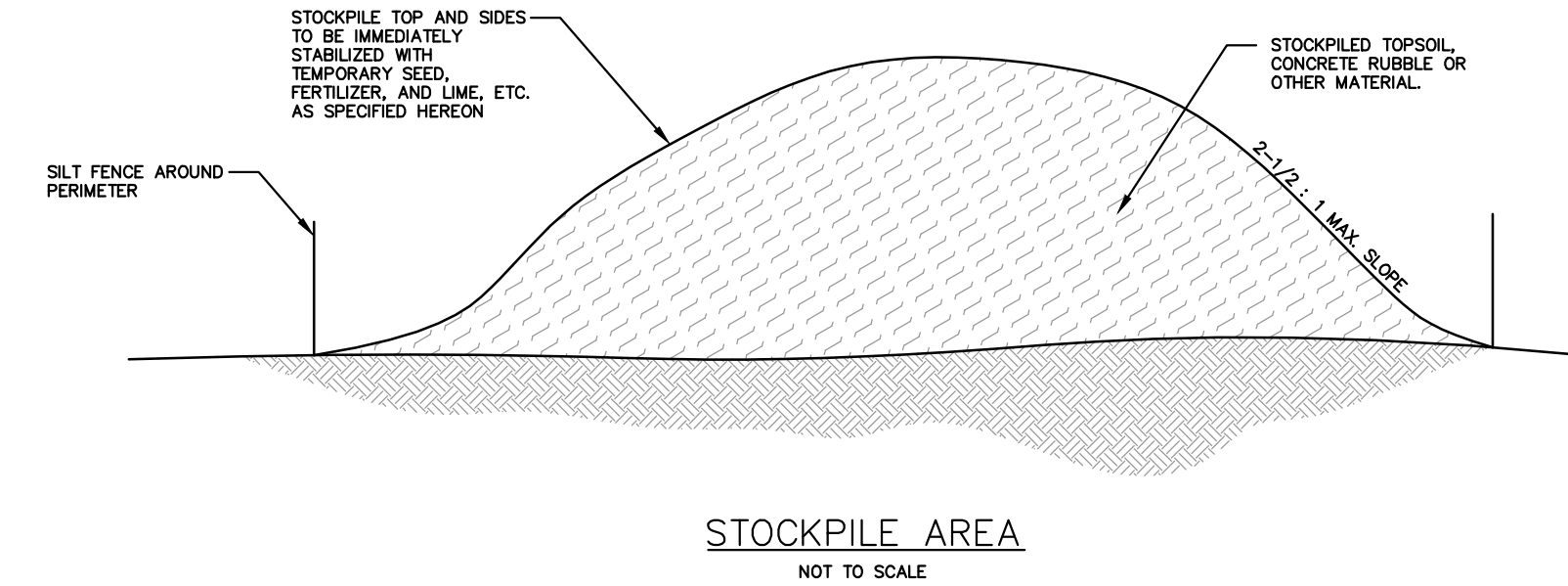


PERCENT SLOPE OF ROADWAY	PERCENT SLOPE OF ROADWAY
COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.
2 TO 5%	100 FT.
> 5%	200 FT.
ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE	

- AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.
- 1" - 2" CLEAN CRUSHED STONE SHALL BE USED.
- MIN. THICKNESS OF PAD TO BE 6".
- TRACKING PAD LOCATION MAY BE ADJUSTED BASED ON FIELD/CONSTRUCTION CONDITIONS AND REQUIREMENTS WITH APPROVAL OF HEP SCD INSPECTOR.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



STOCKPILE AREA

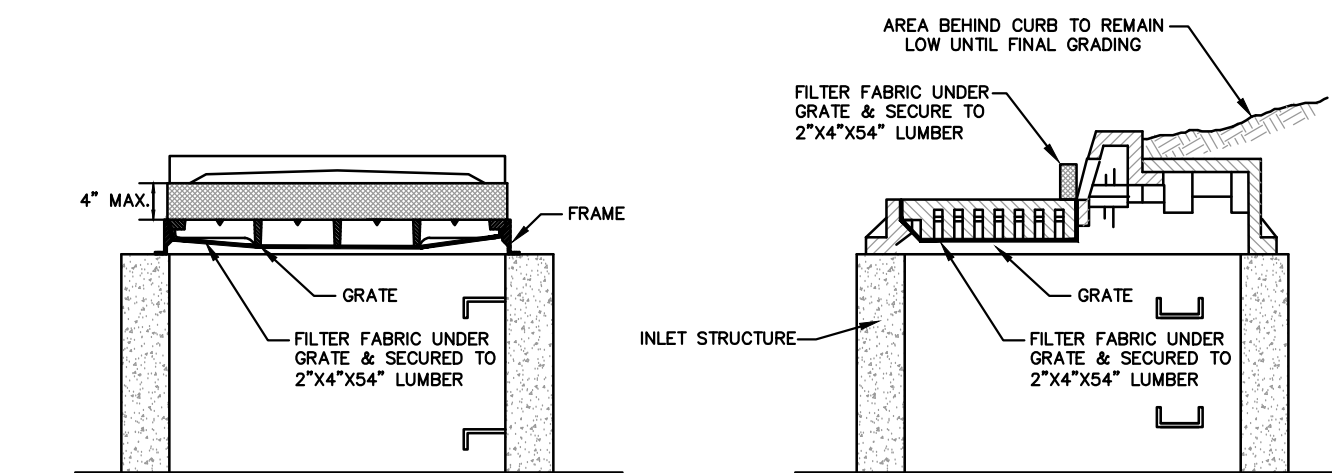
NOT TO SCALE

GrateMaster - Type B



INLET PROTECTION

NOT TO SCALE



CURB INLET PROTECTION

NOT TO SCALE

- FILTER TO REMAIN UNTIL COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF COVER. ALSO, PERIOD CHECKS MUST BE MADE AFTER EACH RAINFALL TO EXCAVATE AND REMOVE EXCESS SEDIMENT FROM AROUND INLETS.
- FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL.

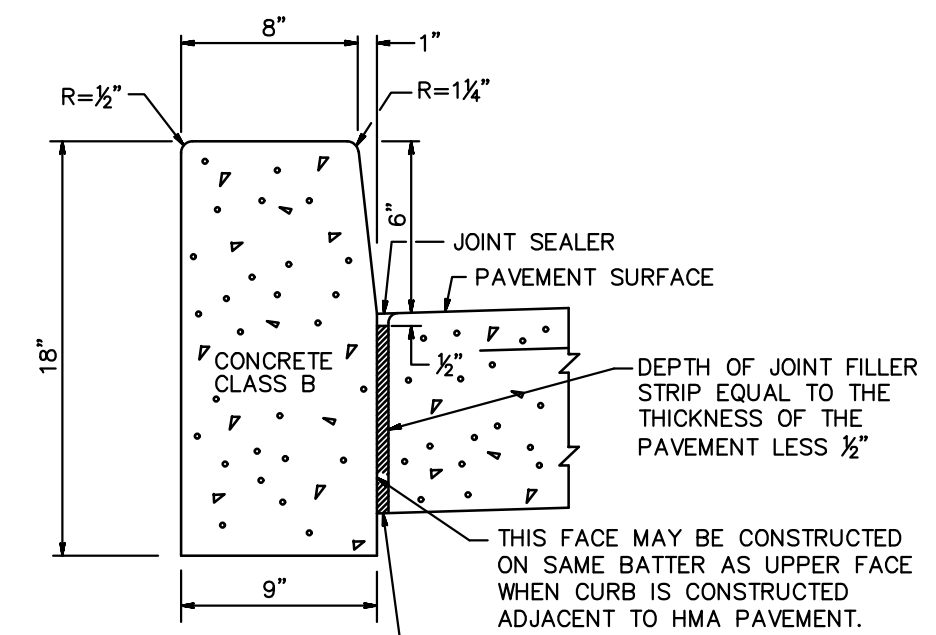
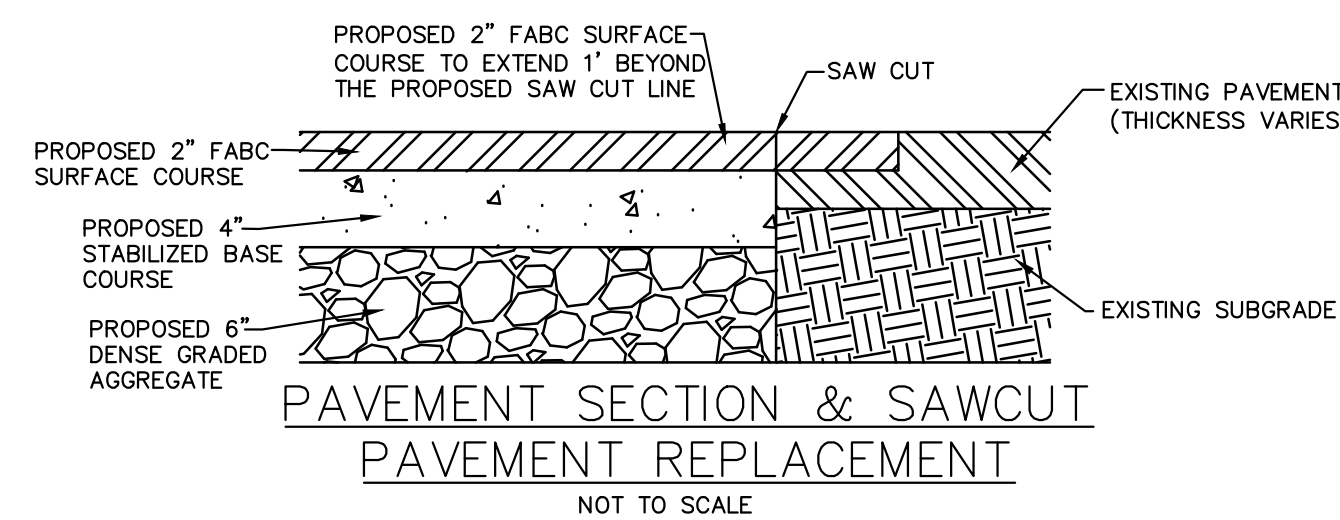
AMENDED PRELIMINARY/FINAL MAJOR SITE PLAN
HARRISON YARDS - PHASE II
BLOCK 133; LOT 1.03 & 1.05
SOIL EROSION AND SEDIMENT CONTROL DETAILS

TOWN OF HARRISON, HUDSON COUNTY, NEW JERSEY

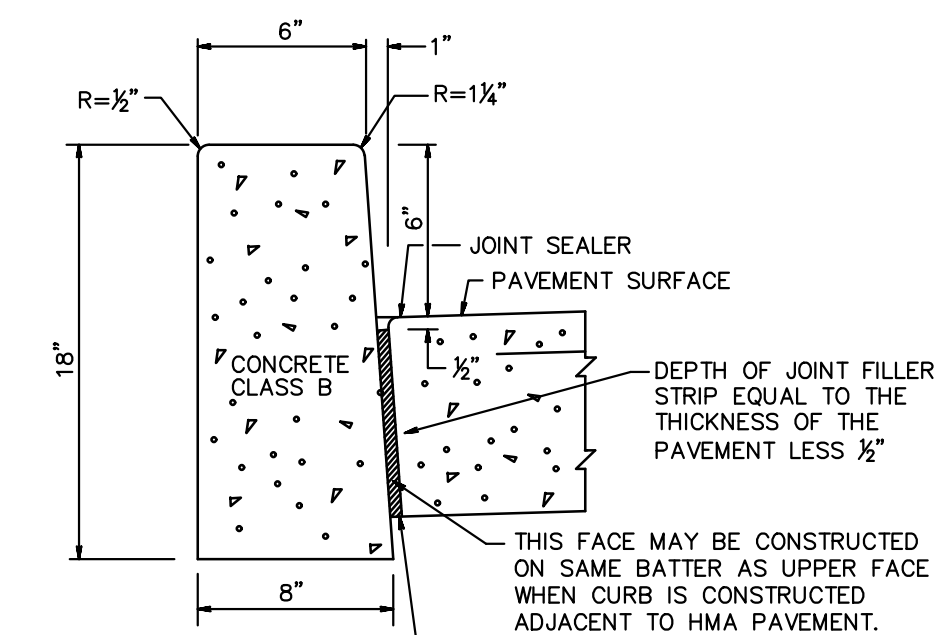
MidAtlantic
Engineering & Planning, LLC

Office of Certification No. 24020818-0000
Louis L. Zuegner IV, P.E.
PE No. 060426600
Matthew J. Brennan, P.E.
Matthew J. Brennan, P.E.
PE No. 060426600

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19 OF 21

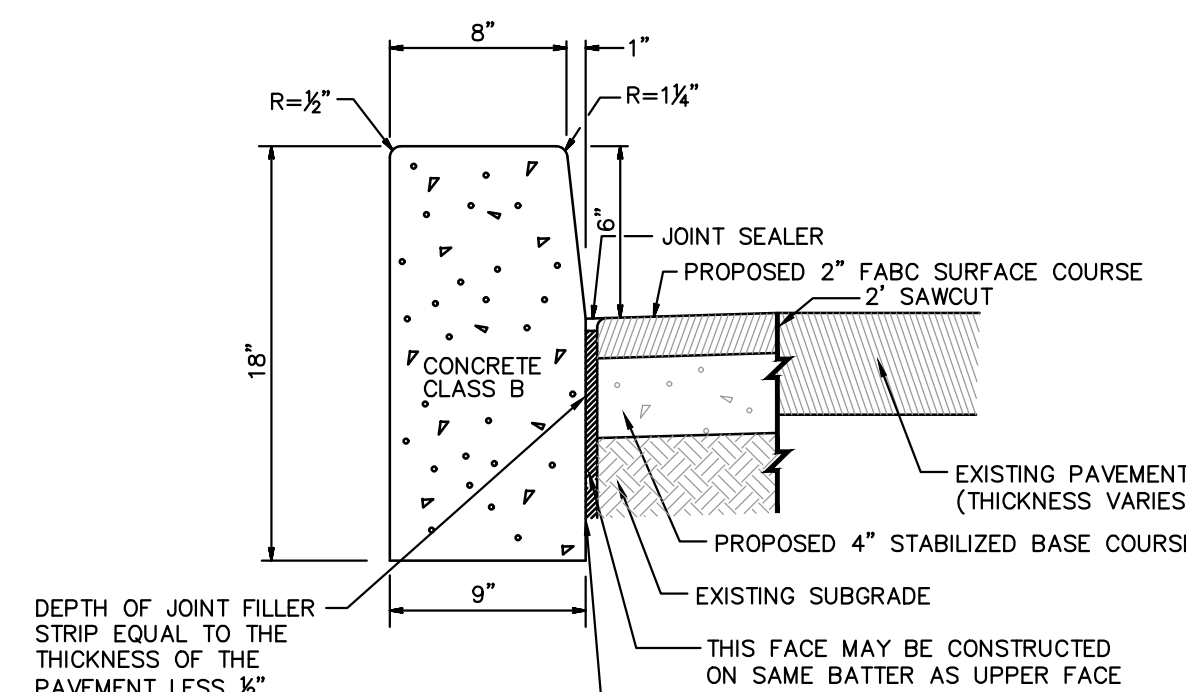


NOTES:
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.



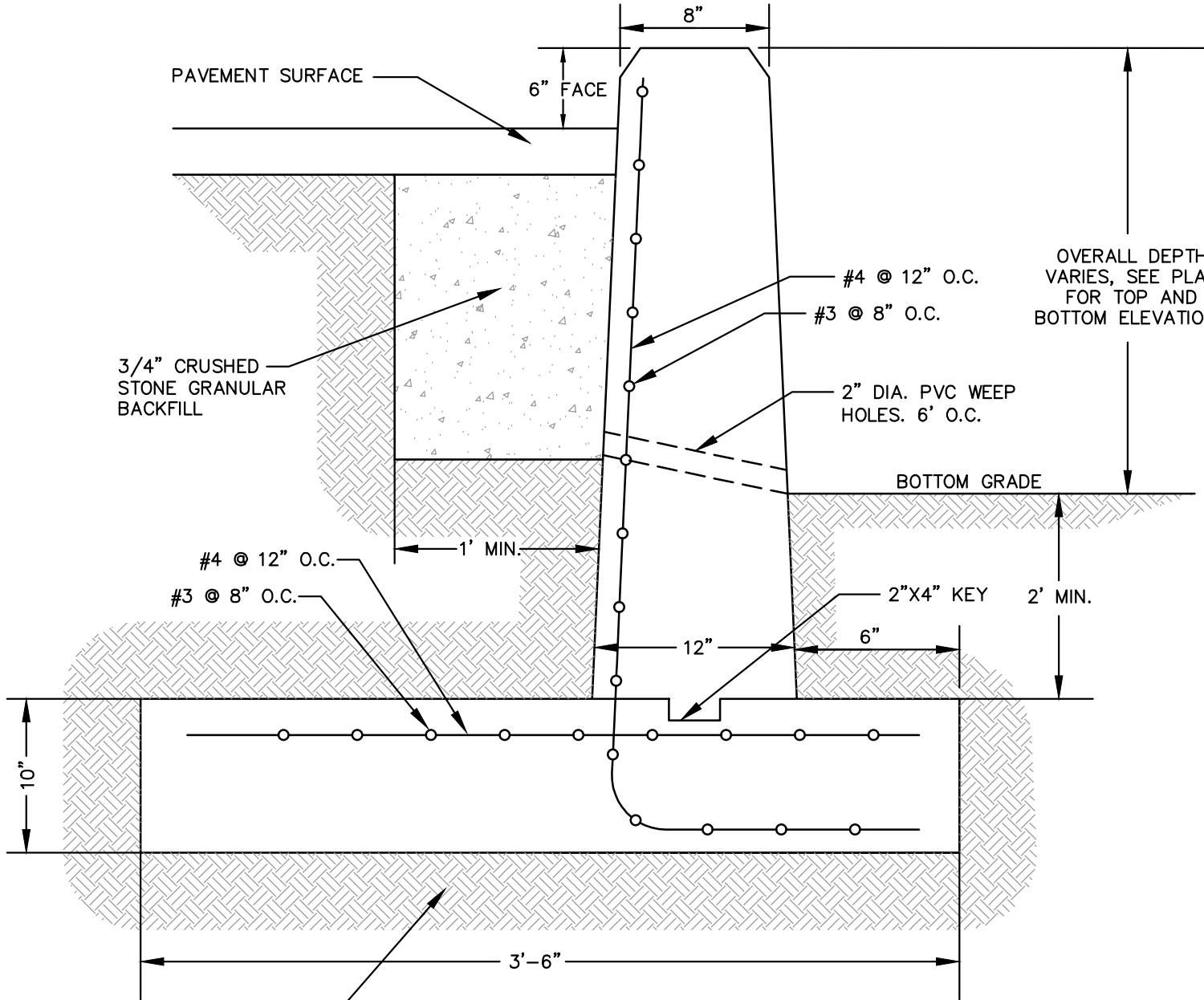
NOTES:
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

CONCRETE VERTICAL CURB (6" WIDE)

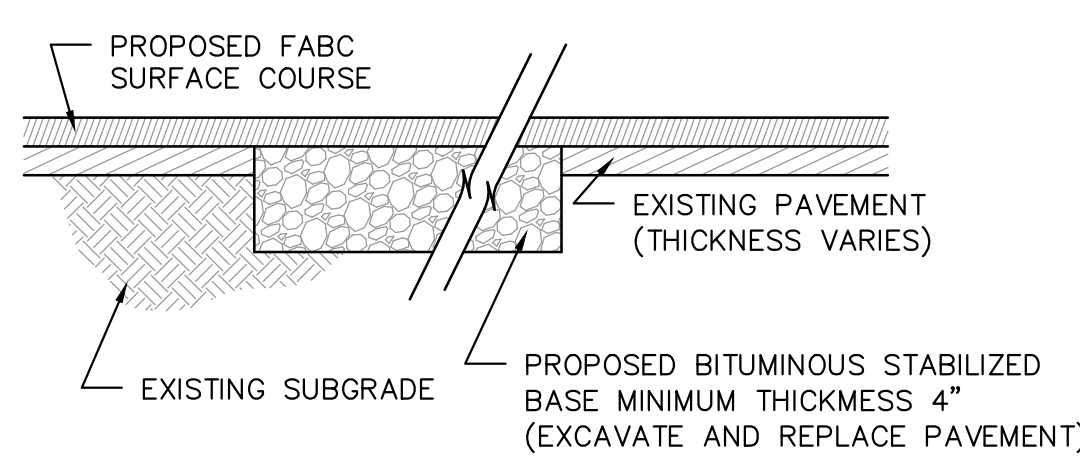
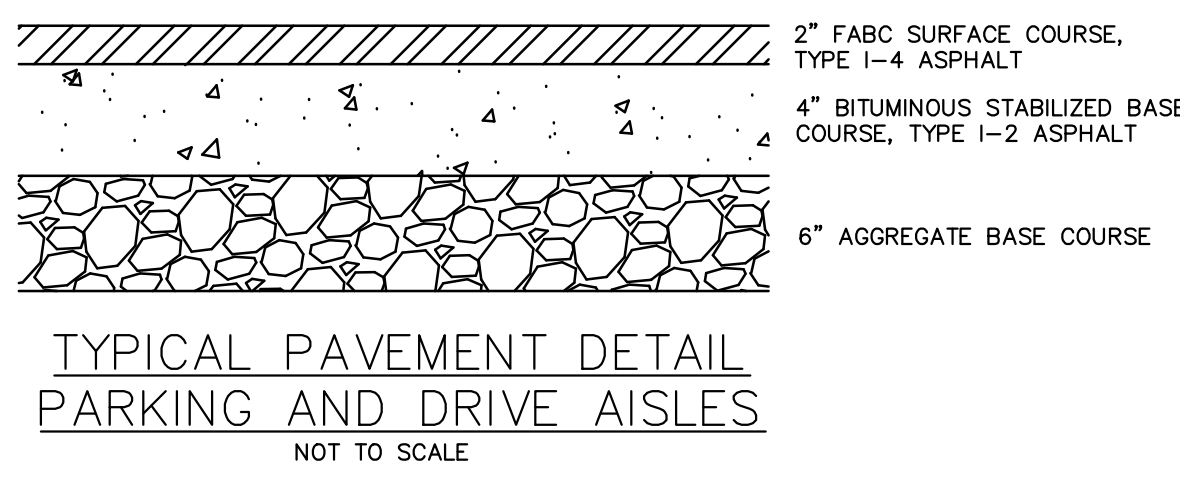


NOTES:
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

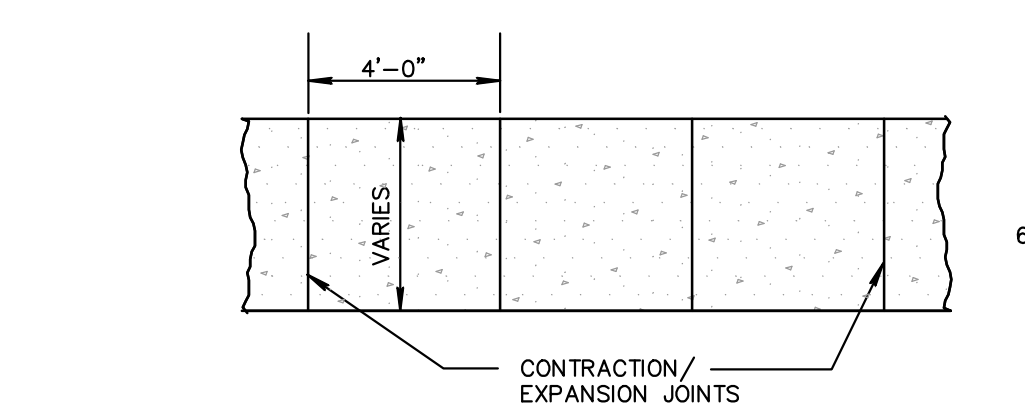
CONCRETE VERTICAL CURB & SAWCUT PAVEMENT REPLACEMENT



RETAINING CURB DETAIL

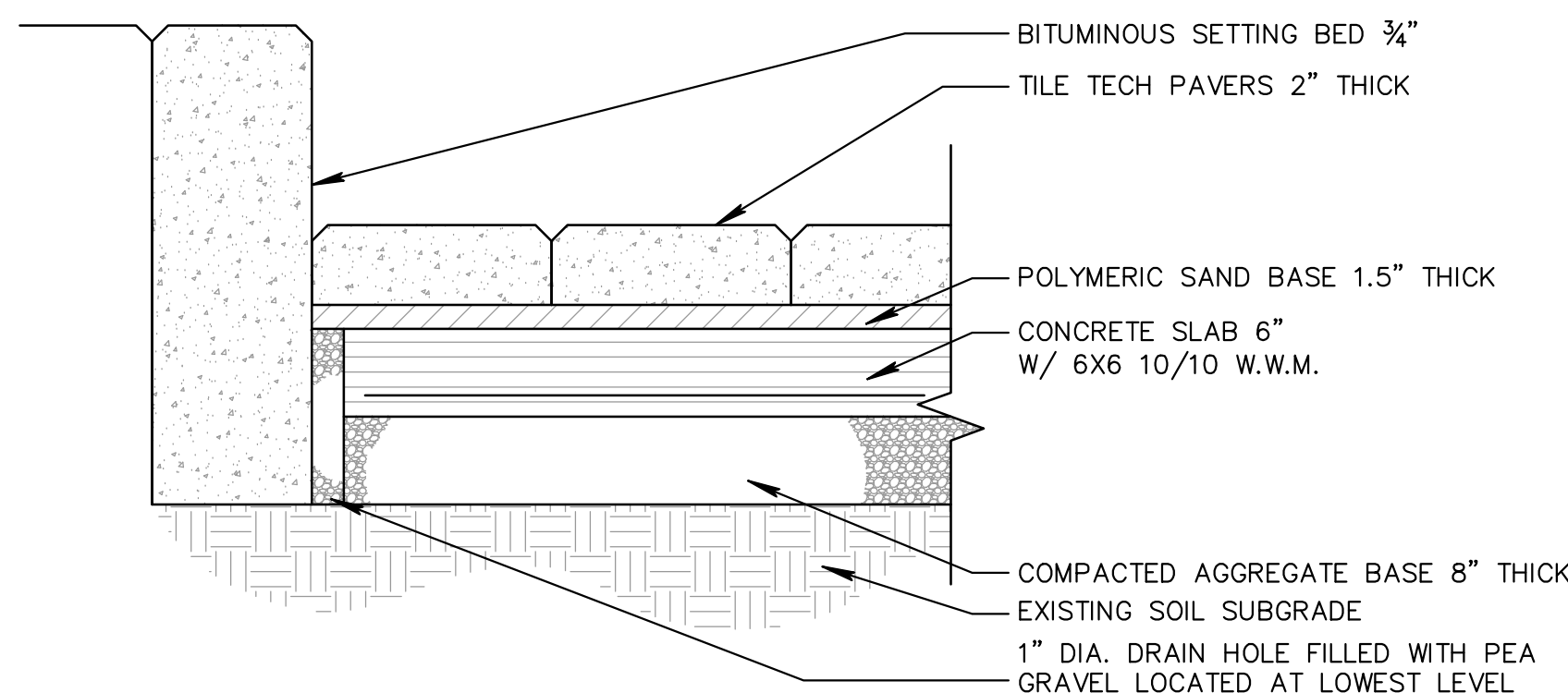


PAVEMENT EXCAVATION AND REPLACEMENT DETAIL

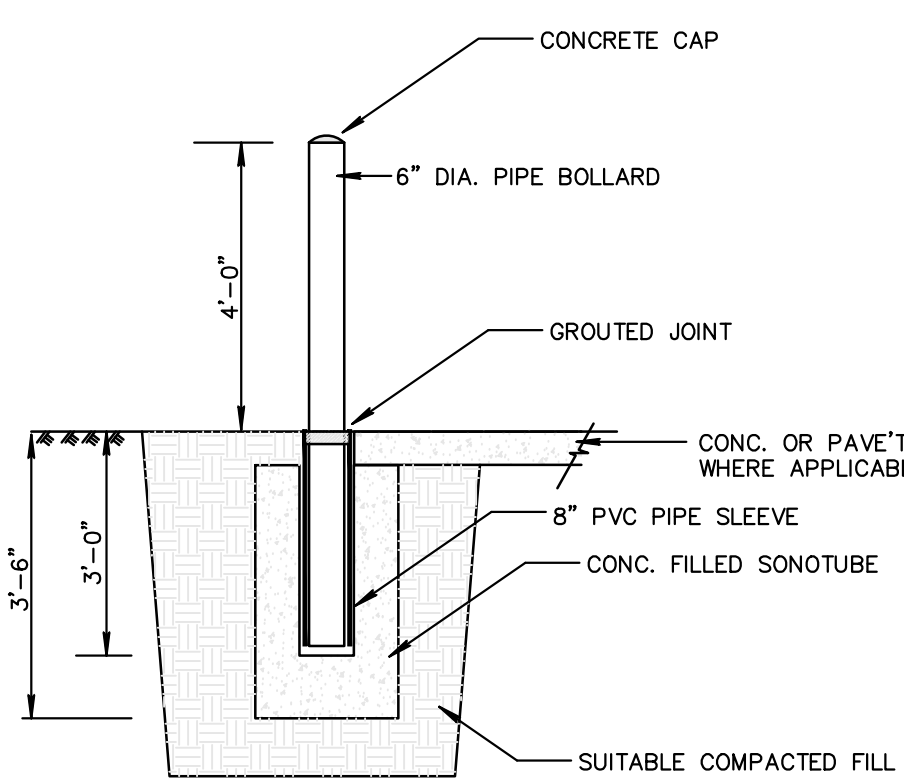


CONCRETE SIDEWALK

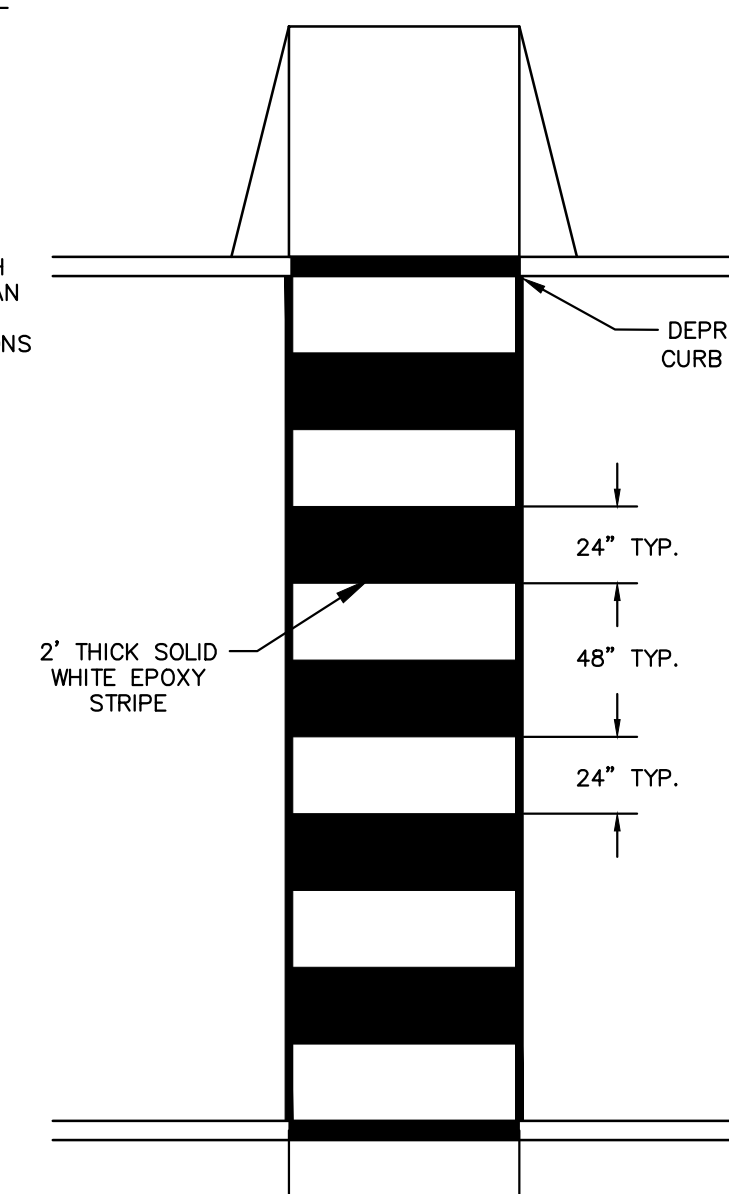
NOTES:
1. PREFORMED BITUMINOUS EXPANSION JOINTS, 1/2" THICK SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET.
2. CONCRETE SHALL BE CLASS "B" PORTLAND CEMENT HAVING A 28 DAY STRENGTH OF 4000 PSI.



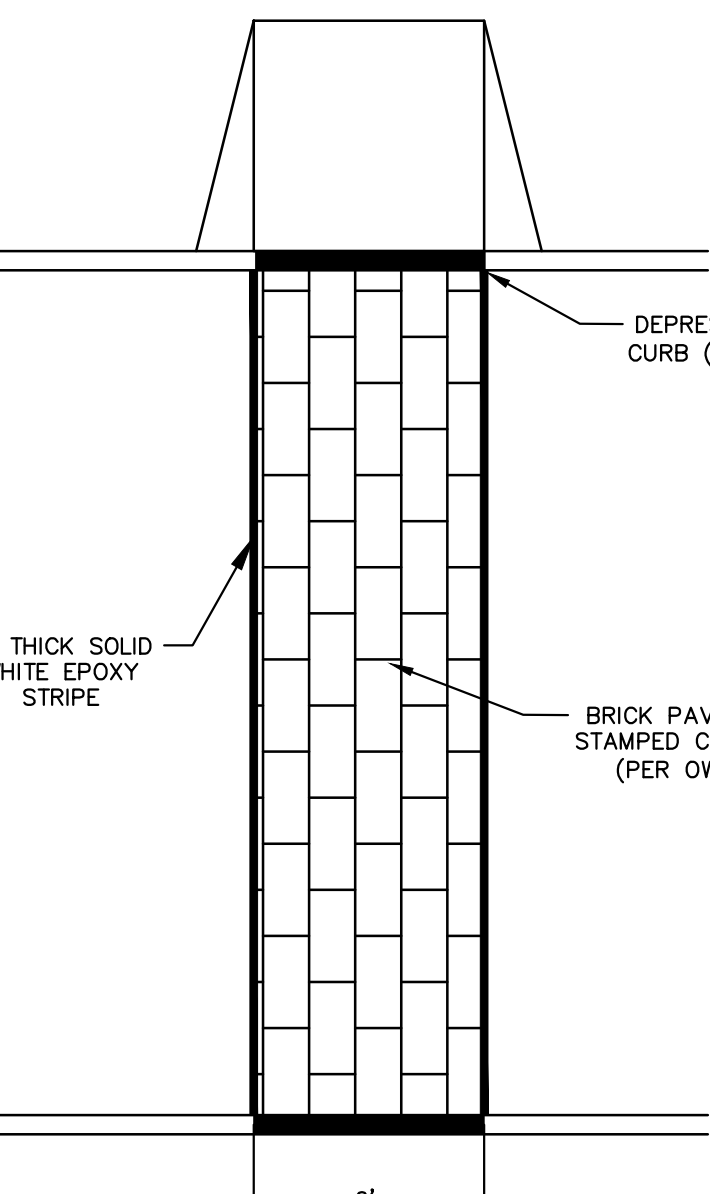
PAVER VEHICULAR INSTALLATION DETAIL



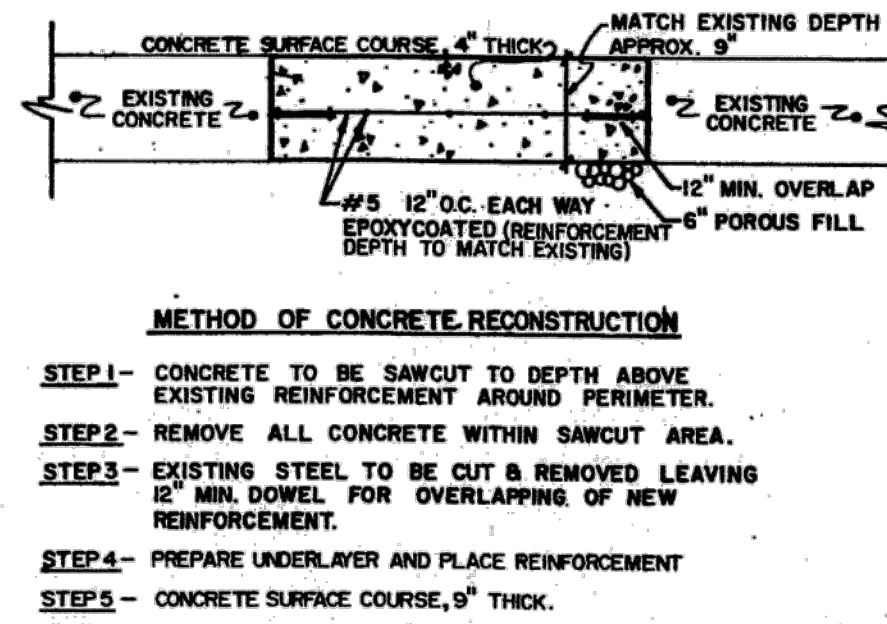
PIPE BOLLARD DETAIL



CROSSWALK DETAIL

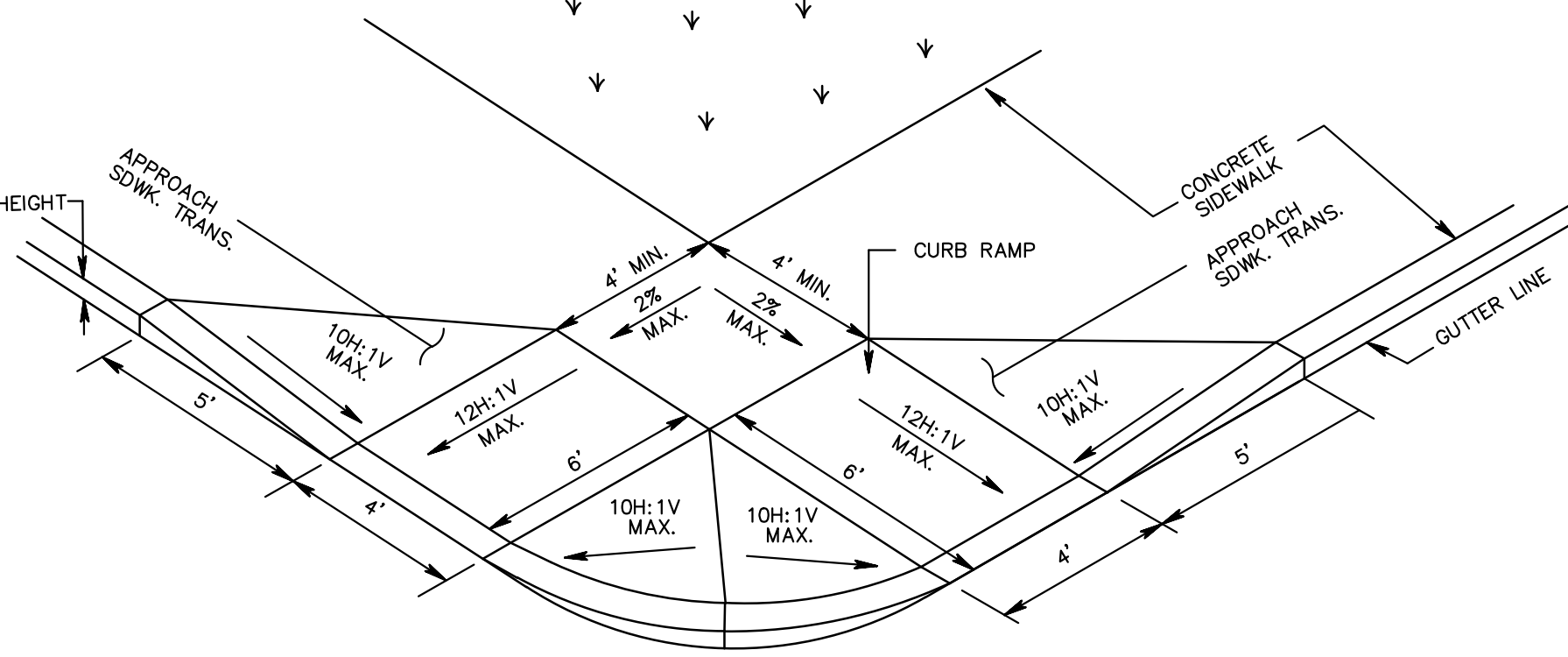


PAVER CROSSWALK DETAIL



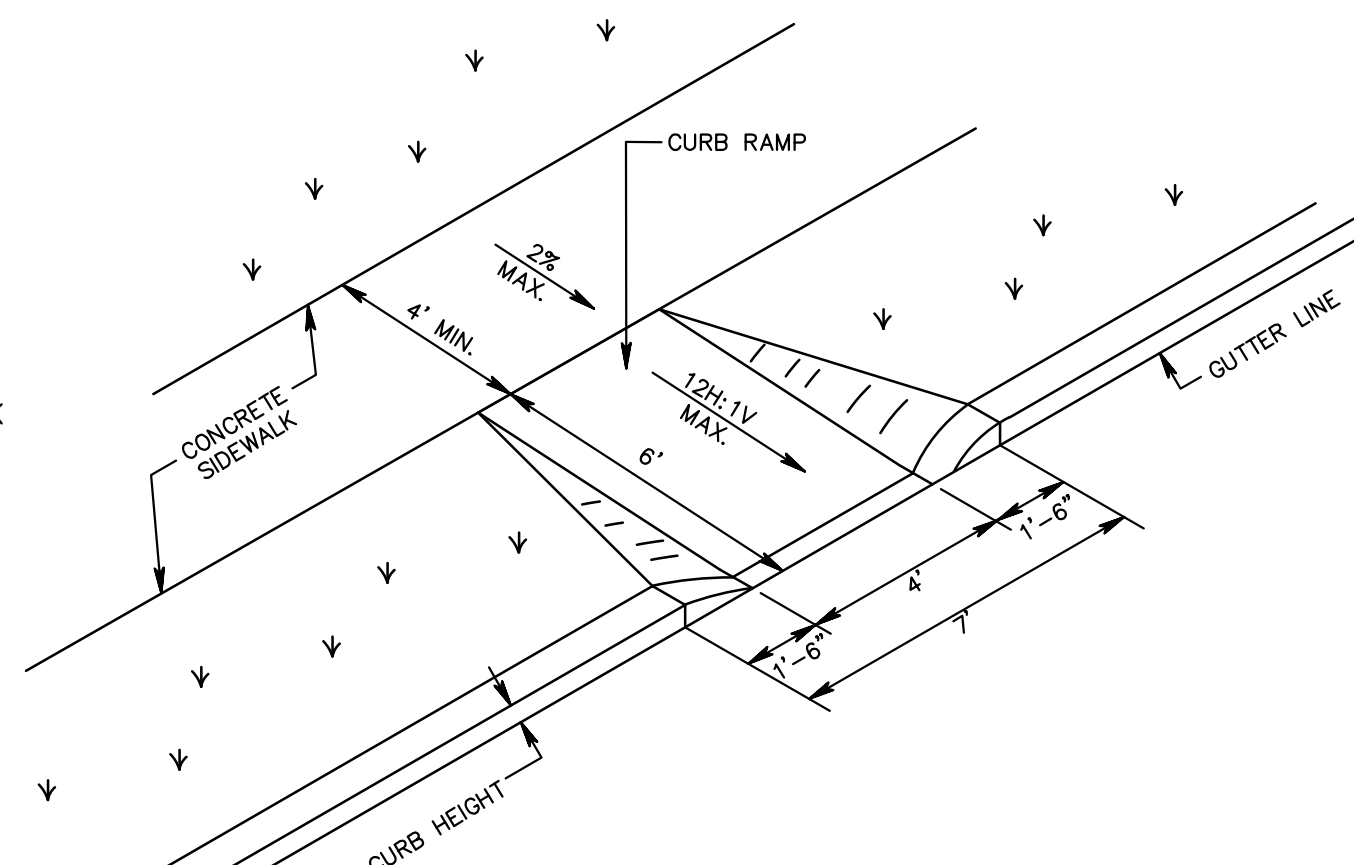
CONCRETE RECONSTRUCTION DETAIL FRANK E. RODGERS BOULEVARD

NOTES:
1. THE ABOVE DETAIL IS PROVIDED BY HUDSON COUNTY.
2. APPROXIMATE 2" F.A.B.C.-1 SURFACE COURSE, TYPE 1-4 TO BE PROVIDED IN ADDITION.
3. IF SECTION THICKNESSES ARE FOUND TO DIFFER UPON EXCAVATION, RECONSTRUCTION SHALL BE PERFORMED TO MATCH DEPTH OF EXISTING SECTIONS.

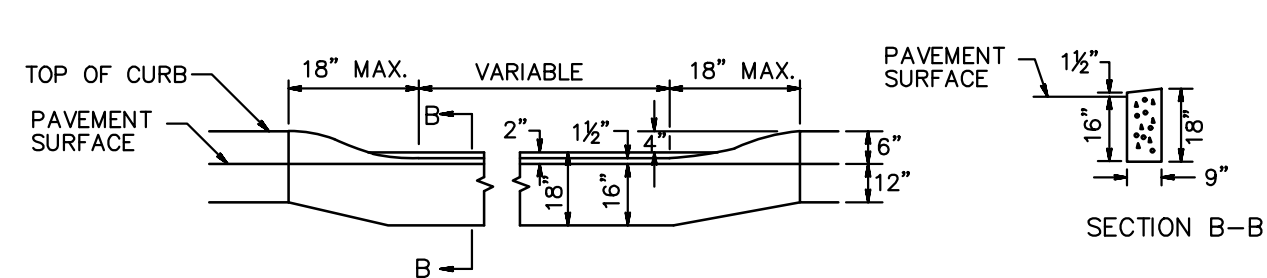


NJDOT CURB RAMP MODIFIED TYPE 1

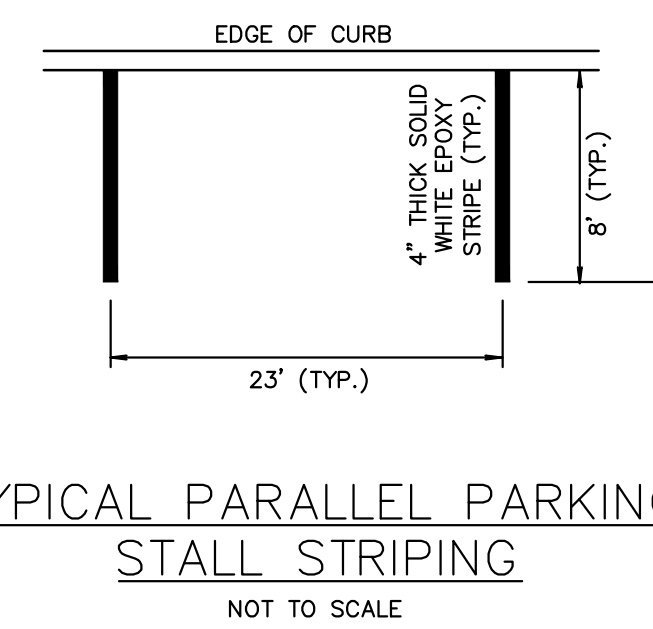
NOTES:
1) ALL HANDICAP ACCESSIBLE RAMPS SHALL CONFORM TO ADA AND NJDOT STANDARD SPECIFICATIONS. THE ENGINEER SHALL BE NOTIFIED OF ANY REQUIRED DEVIATION FROM SPECIFICATIONS OR IF A DIFFERENT TYPE RAMP IS REQUIRED PRIOR TO CONSTRUCTION.
2) A DETECTABLE WARNING SURFACE IS TO BE INSTALLED AT EACH HANDICAP RAMP LOCATION IN ACCORDANCE WITH THE PROVIDED DETAIL.



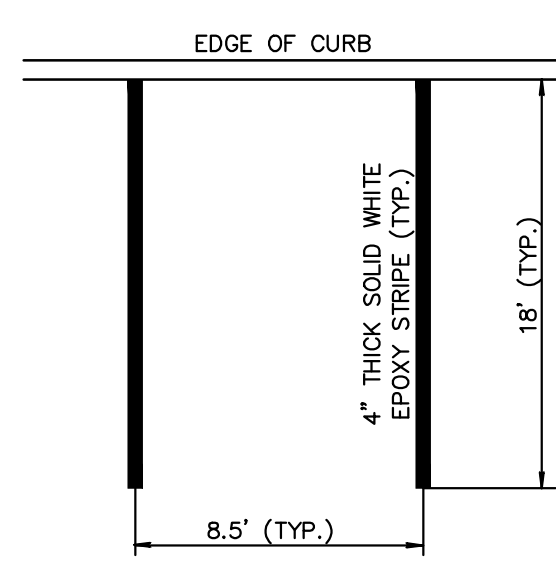
CURB RAMP TYPE 2 (GRASS BUFFER STRIP)



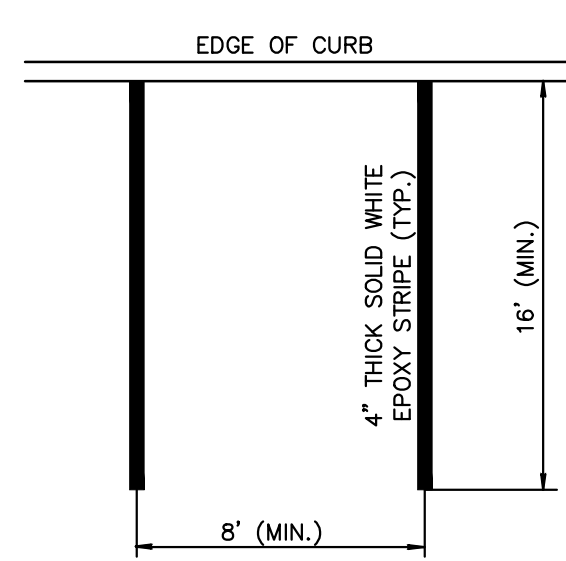
DEPRESSED CURB



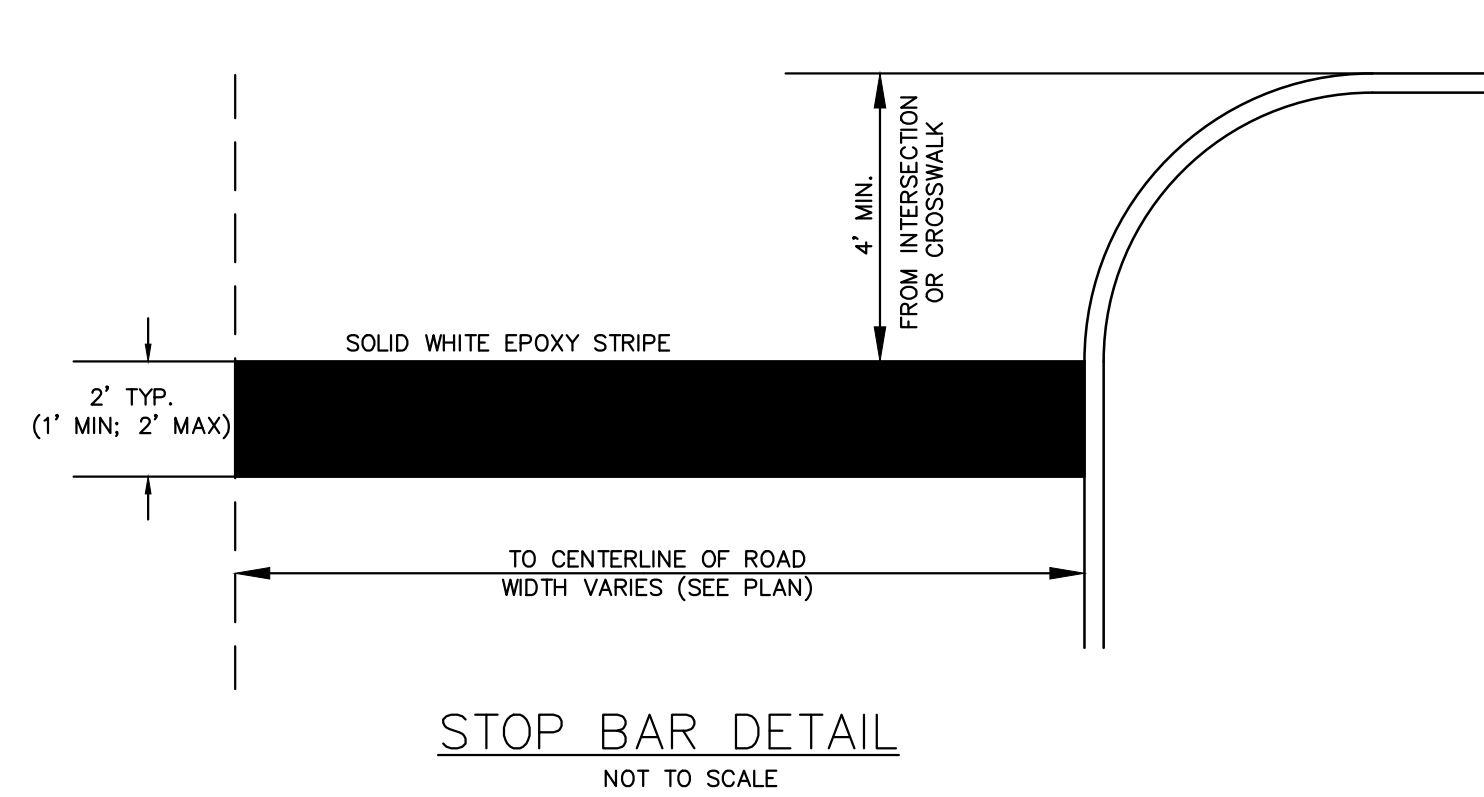
TYPICAL PARALLEL PARKING STALL STRIPING



TYPICAL PARKING STALL STRIPING

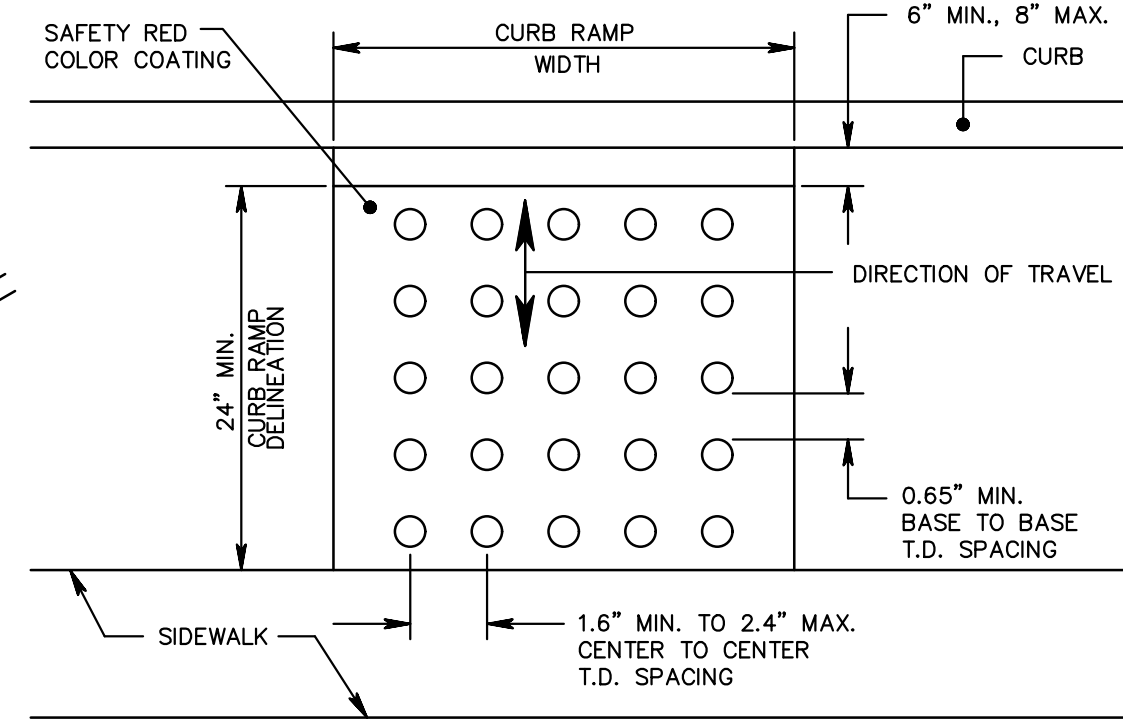


COMPACT PARKING STALL STRIPING

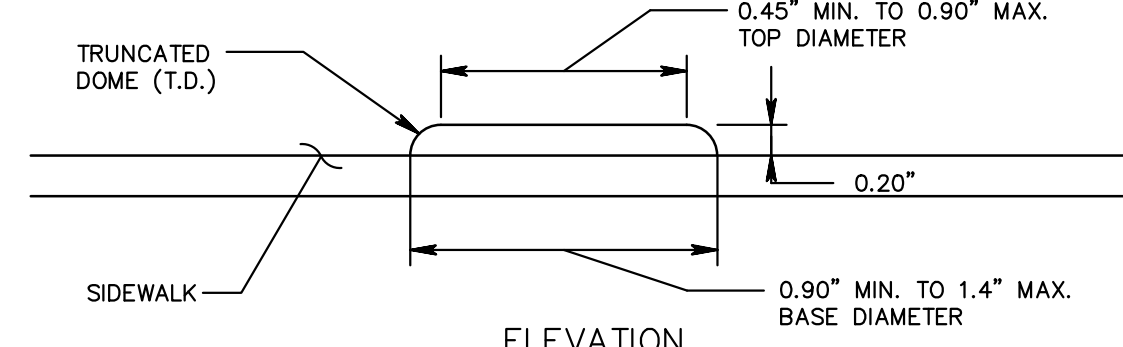


STOP BAR DETAIL

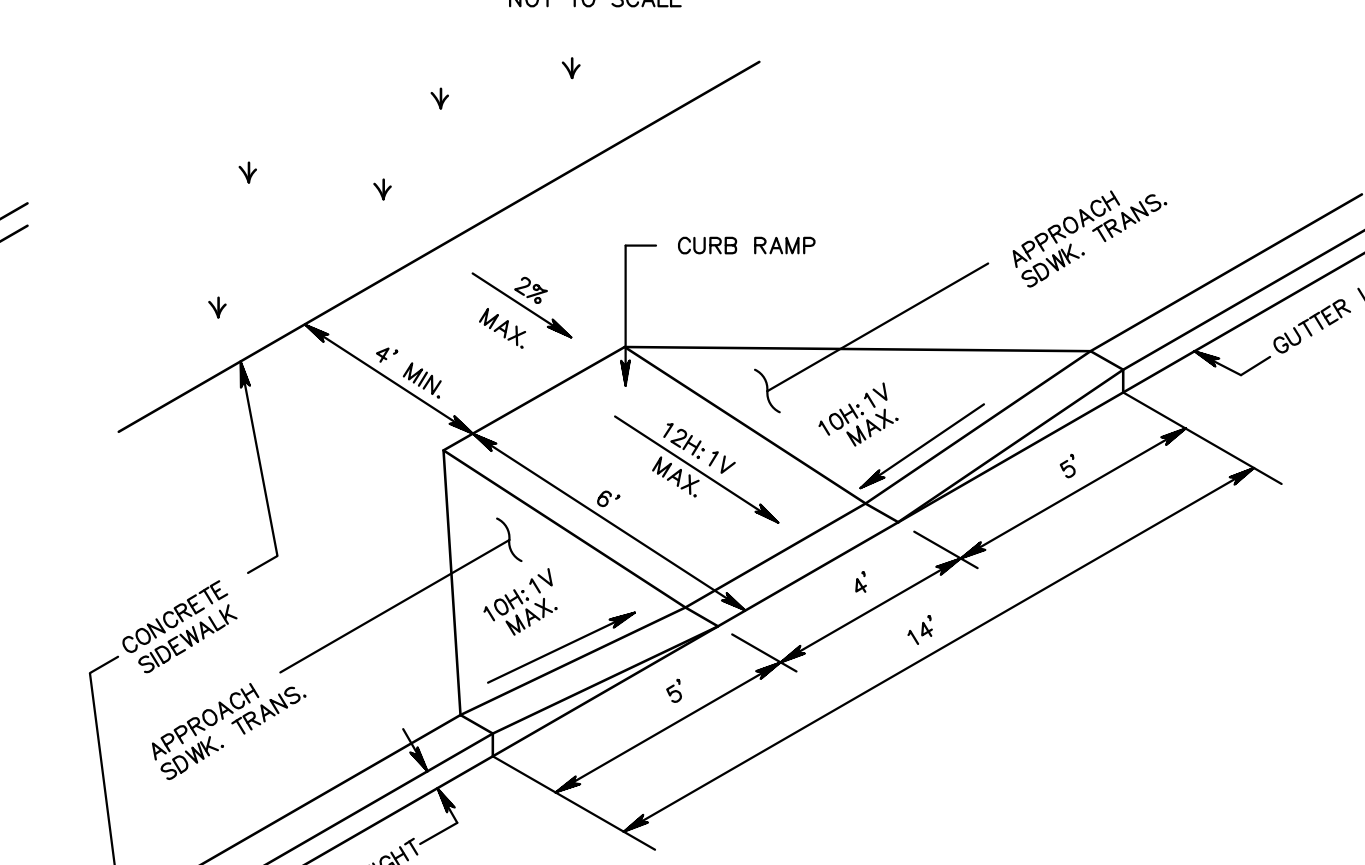
NOTE:
IF A CROSSWALK EXISTS AT THE INTERSECTION, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE CROSSWALK. IF NO CROSSWALK EXISTS, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE INTERSECTION.



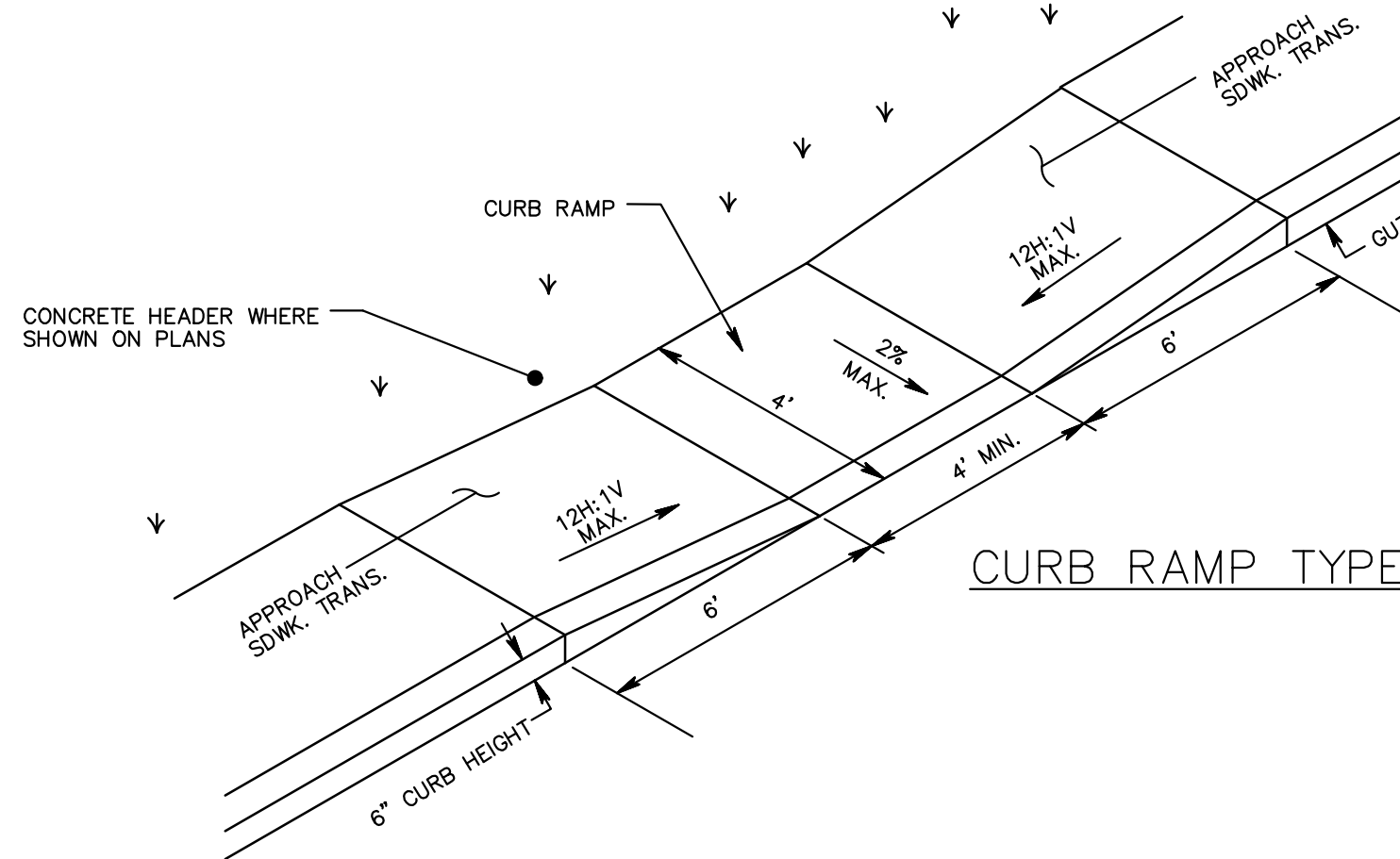
PLAN VIEW



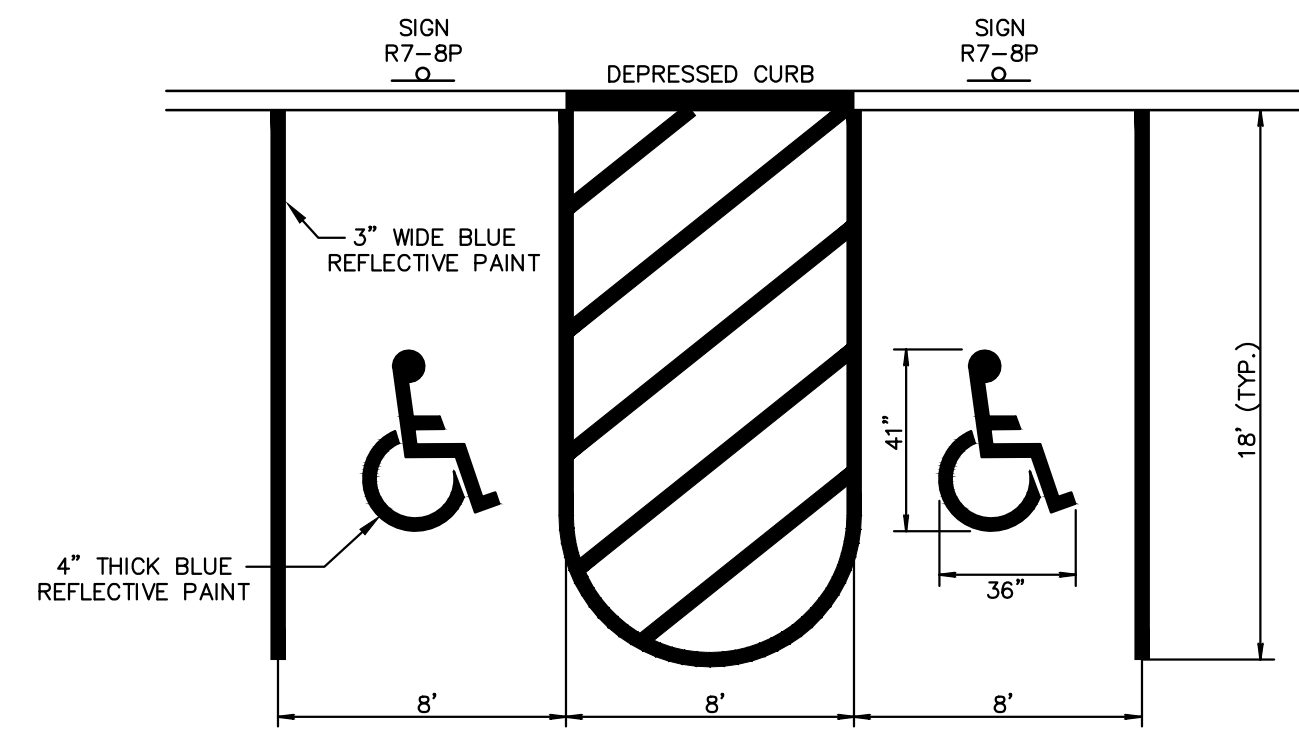
ELEVATION



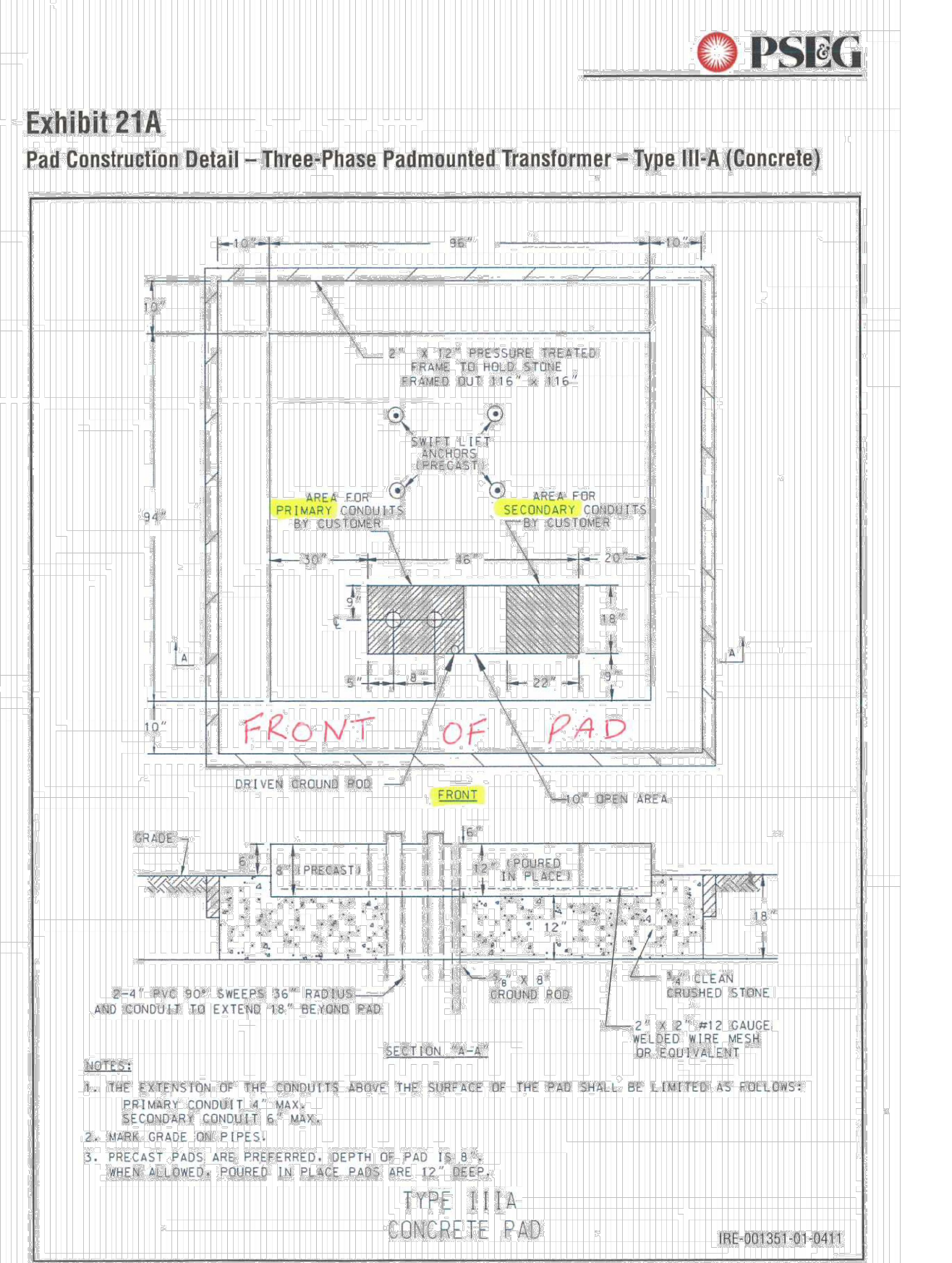
CURB RAMP TYPE 1



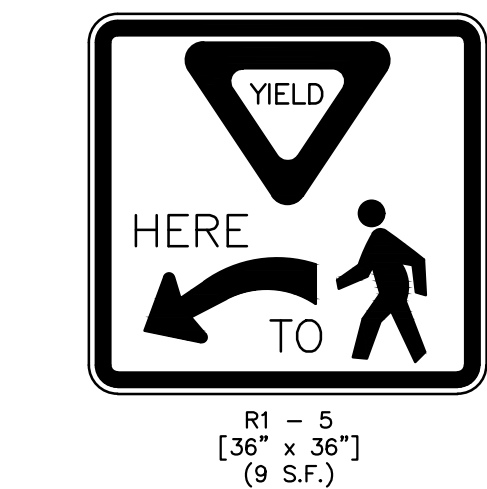
CURB RAMP TYPE 7



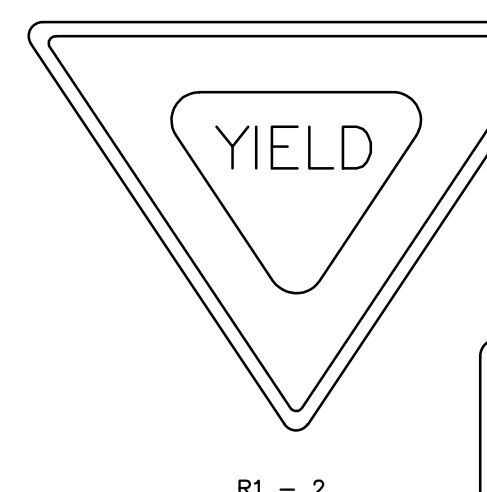
HANDICAP PARKING STALL STRIPING



PSEG PRECAST CONCRETE TRANSFORMER PAD DETAIL



TRAFFIC CONTROL SIGN DETAIL



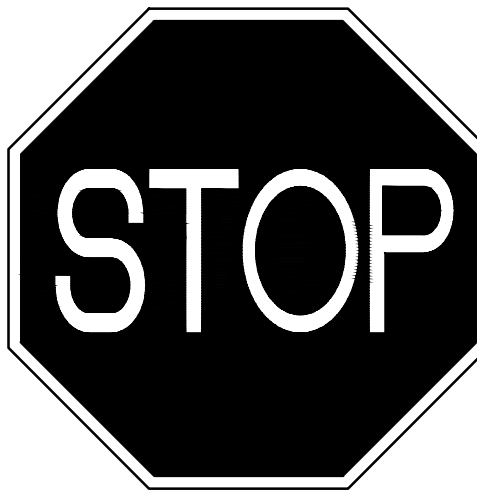
RESERVED PARKING

RESIDENT PARKING ONLY

COMPACT CARS ONLY

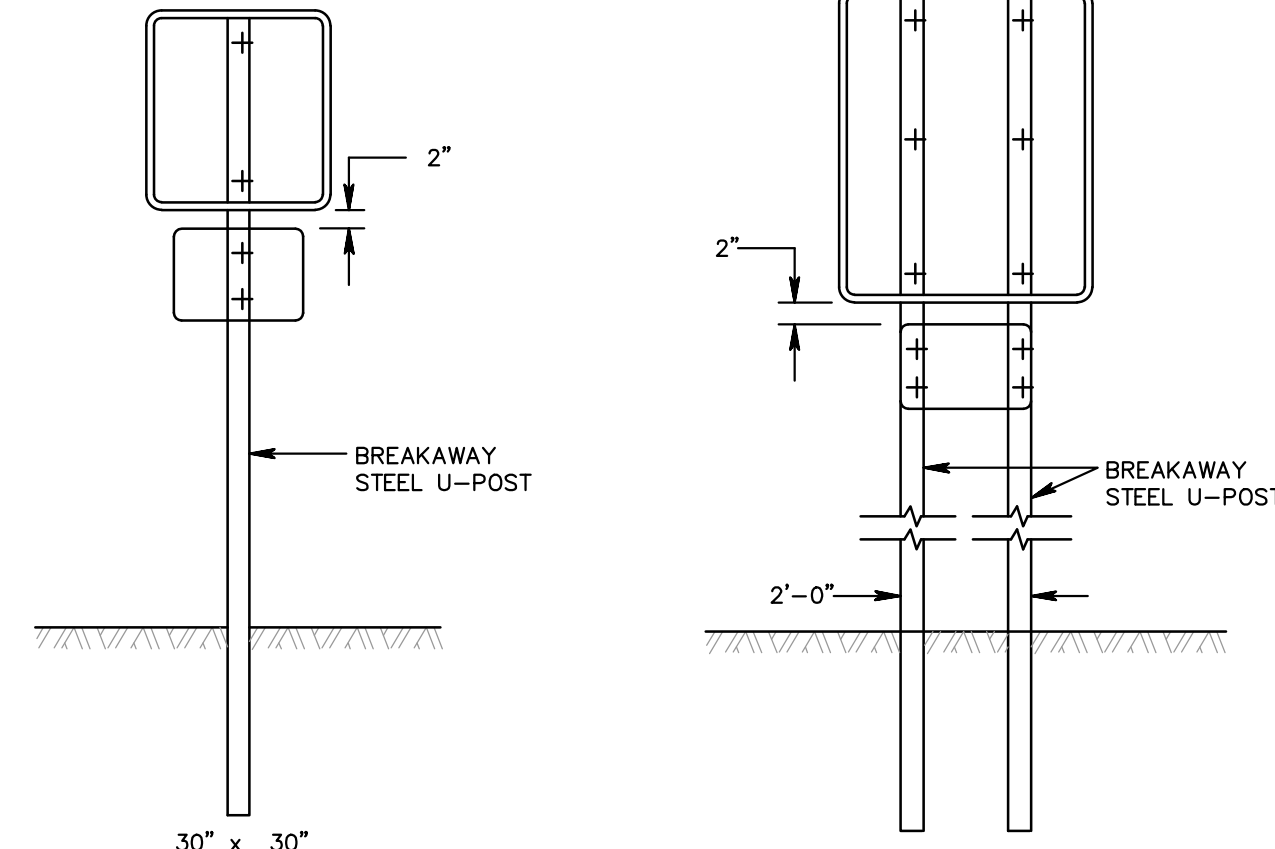
NO PARKING LOADING ZONE

ONE WAY

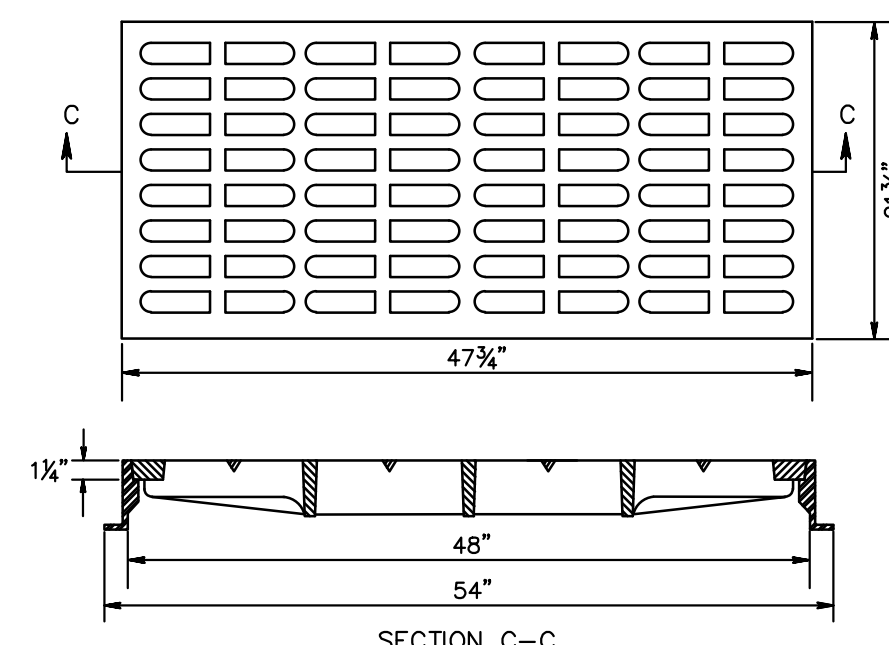


STOP

DO NOT ENTER



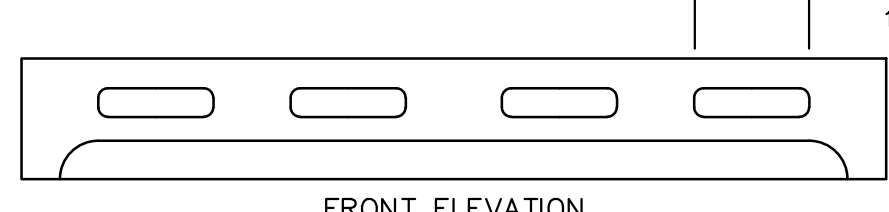
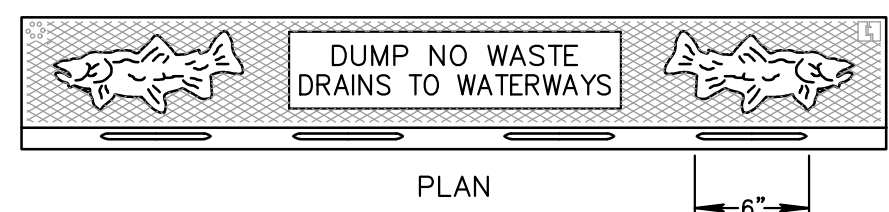
BREAKAWAY SIGN POST



NOTE:
-FOR TYPE 'B' INLETS CAMPBELL FOUNDRY NO 2618 BICYCLE SAFE GRATE OR APPROVED EQUAL
-FOR TYPE 'E' INLETS CAMPBELL FOUNDRY NO 3425 BICYCLE SAFE GRATE OR APPROVED EQUAL
-FOR TYPE 'A' INLETS CAMPBELL FOUNDRY NO 3405 BICYCLE SAFE GRATE OR APPROVED EQUAL

BICYCLE SAFE GRATE

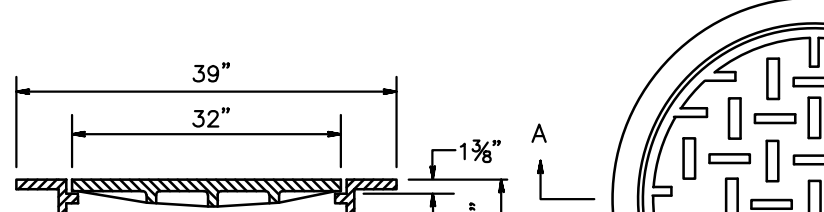
NOT TO SCALE



1. MATERIAL TO BE GRAY CAST IRON ASTM A48-83, CLASS 30B

TYPE 'N' ECO CURB PIECE

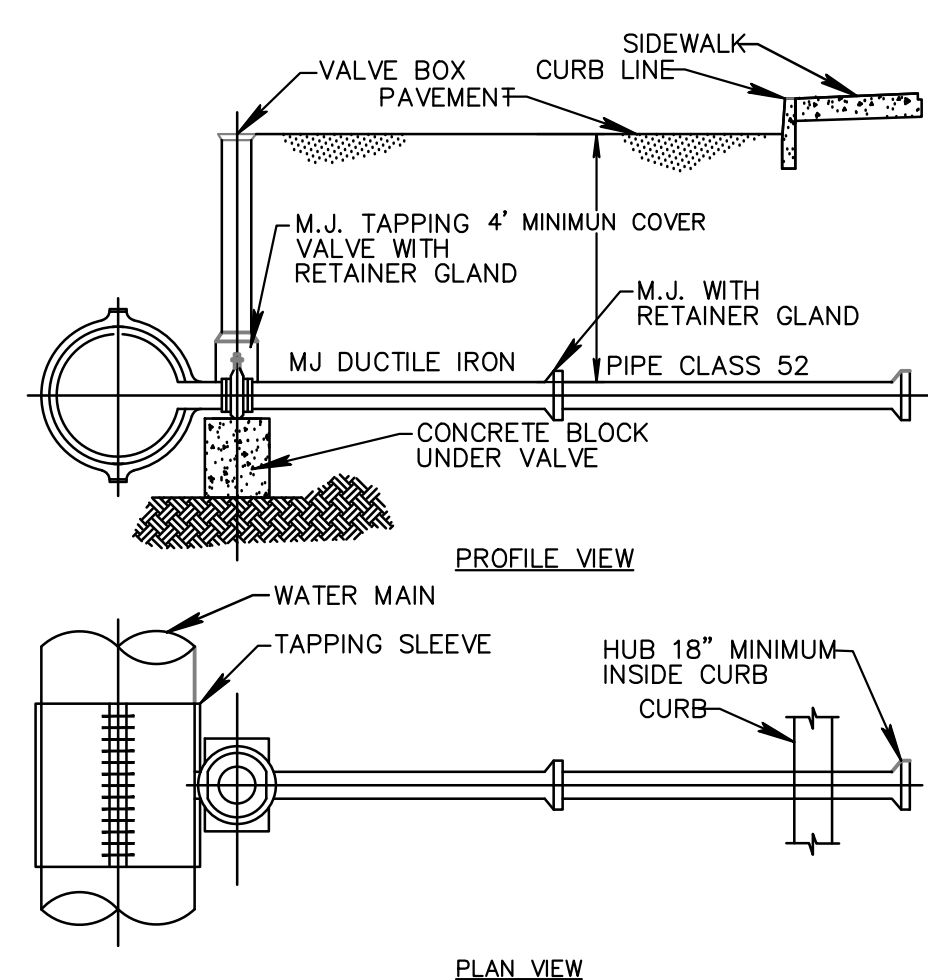
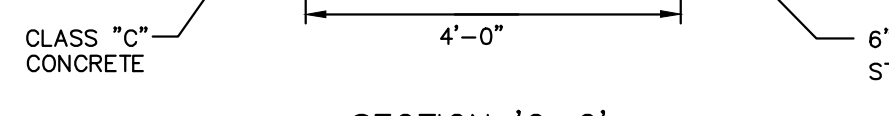
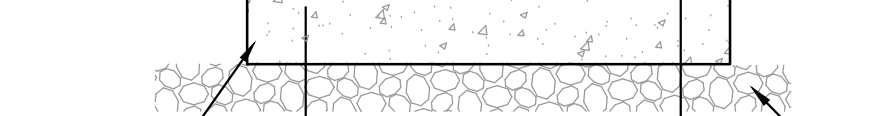
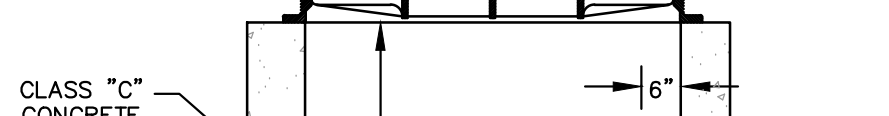
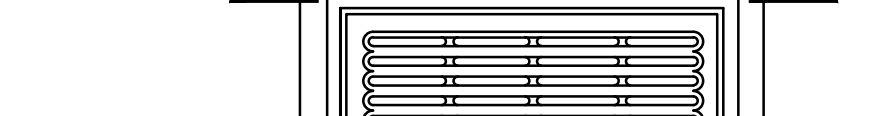
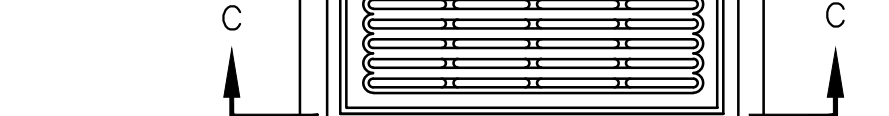
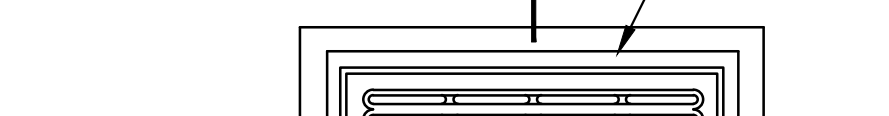
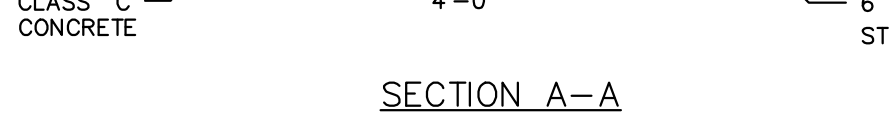
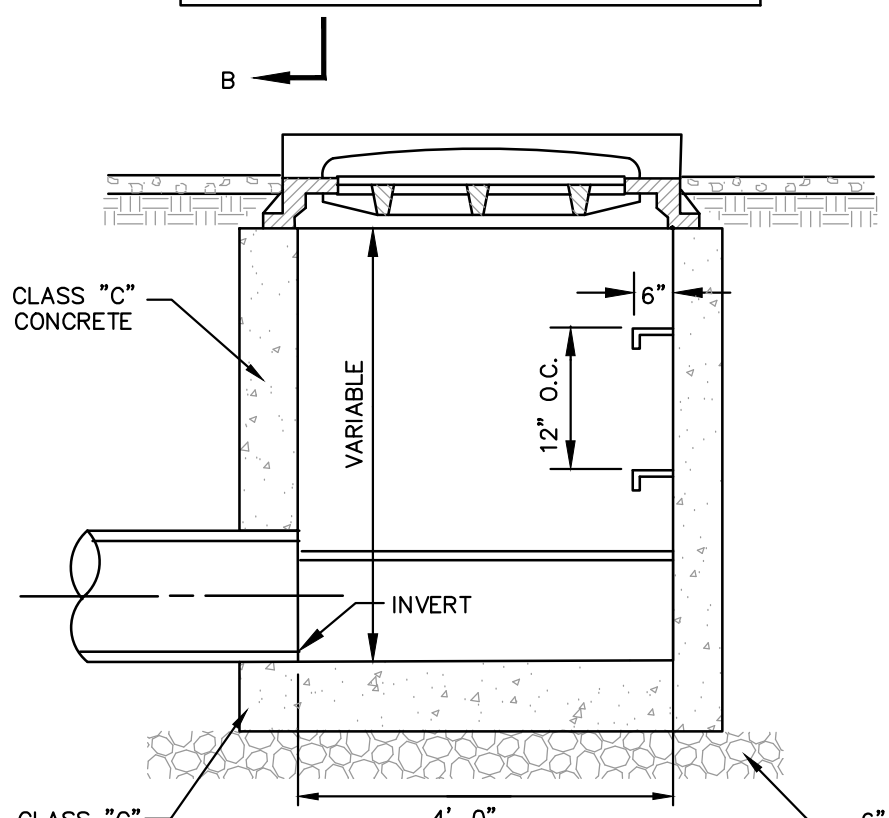
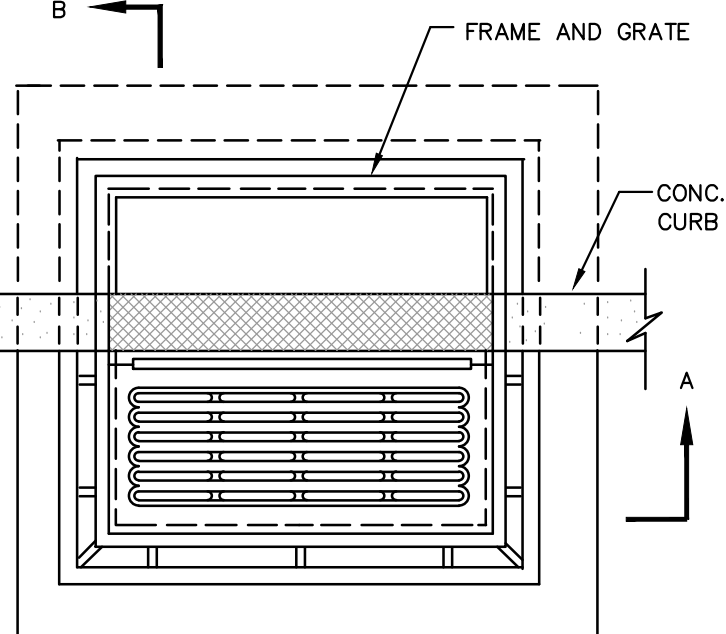
NOT TO SCALE



NOTE:
FRAME AND COVER TO BE CAMPBELL FOUNDRY PATTERN NUMBER 1739 OR APPROVED EQUAL

SLAB TYPE MANHOLE FRAME AND COVER

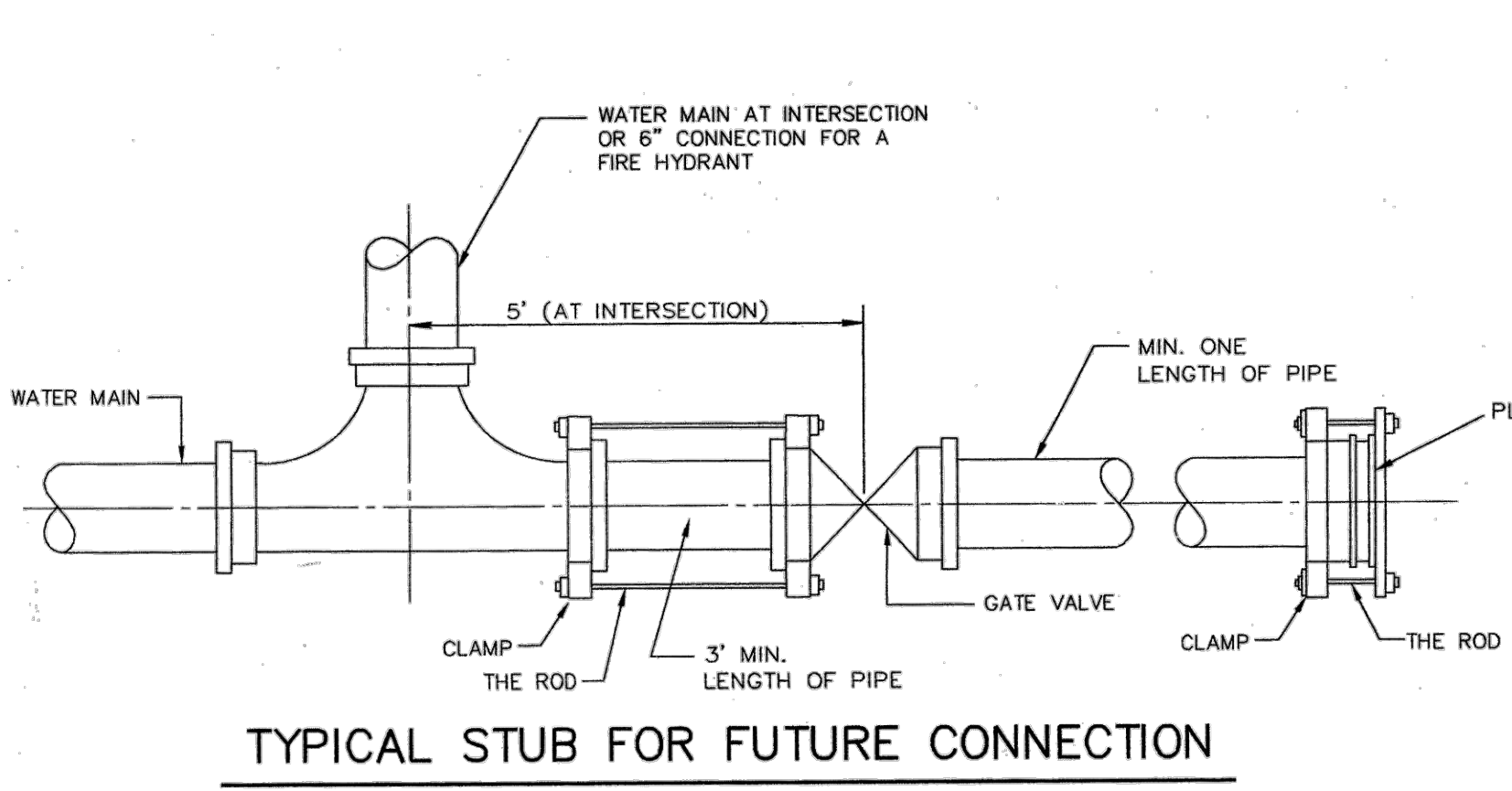
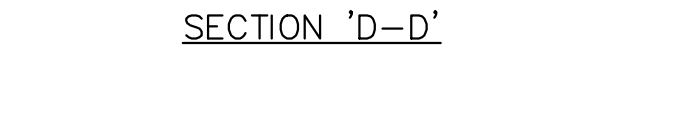
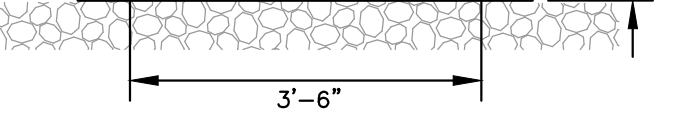
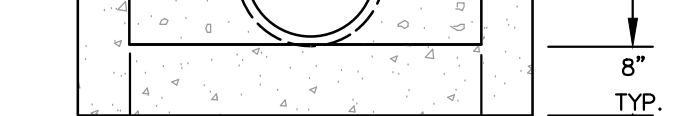
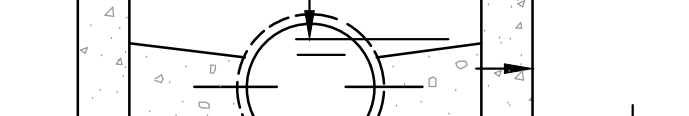
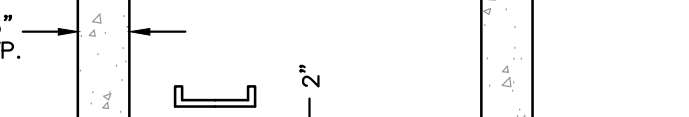
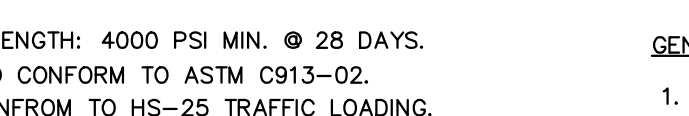
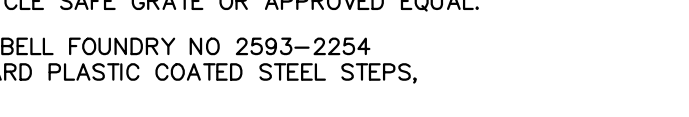
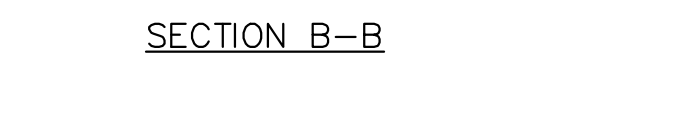
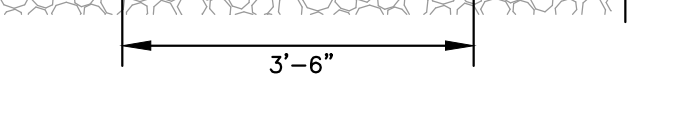
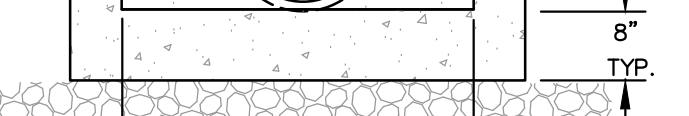
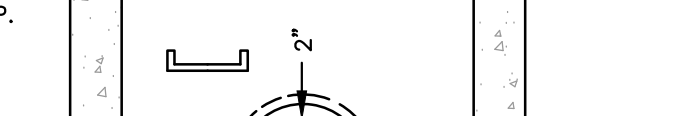
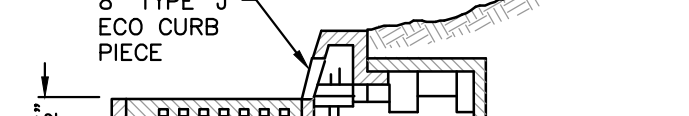
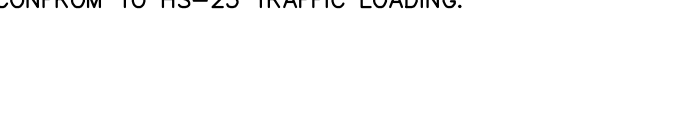
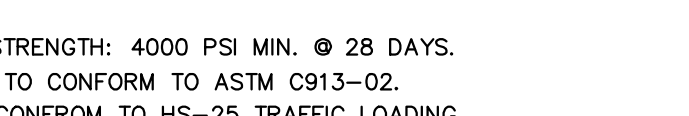
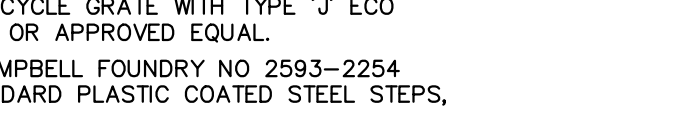
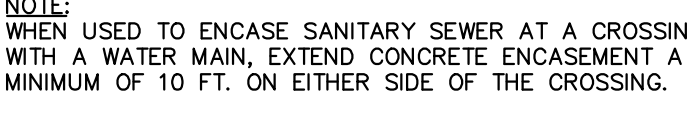
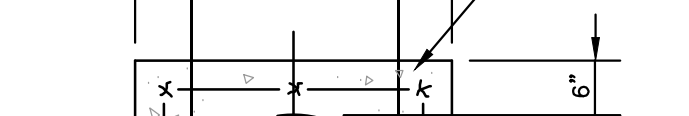
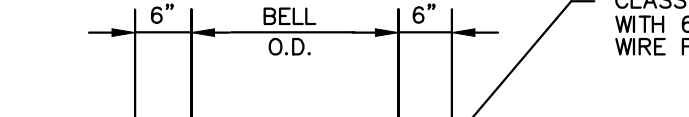
NOT TO SCALE



NOTE: RETAINER GLANDS TO BE USED ON ALL MECHANICAL JOINTS. ADDITIONAL RESTRAINTS EITHER CONCRETE TRUST BLOCK OR STEEL TIE RODS MAY BE REQUIRED BY THE DIVISION.

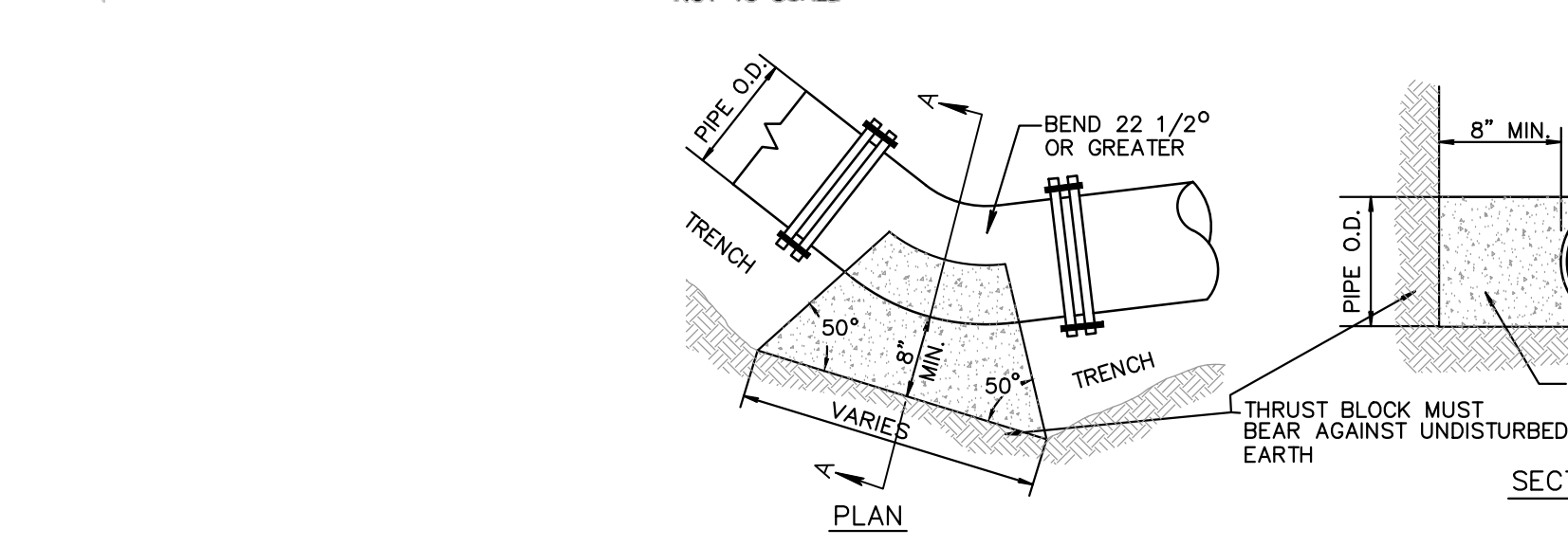
TYPICAL INSTALLATION OF 4\"/>

NOT TO SCALE



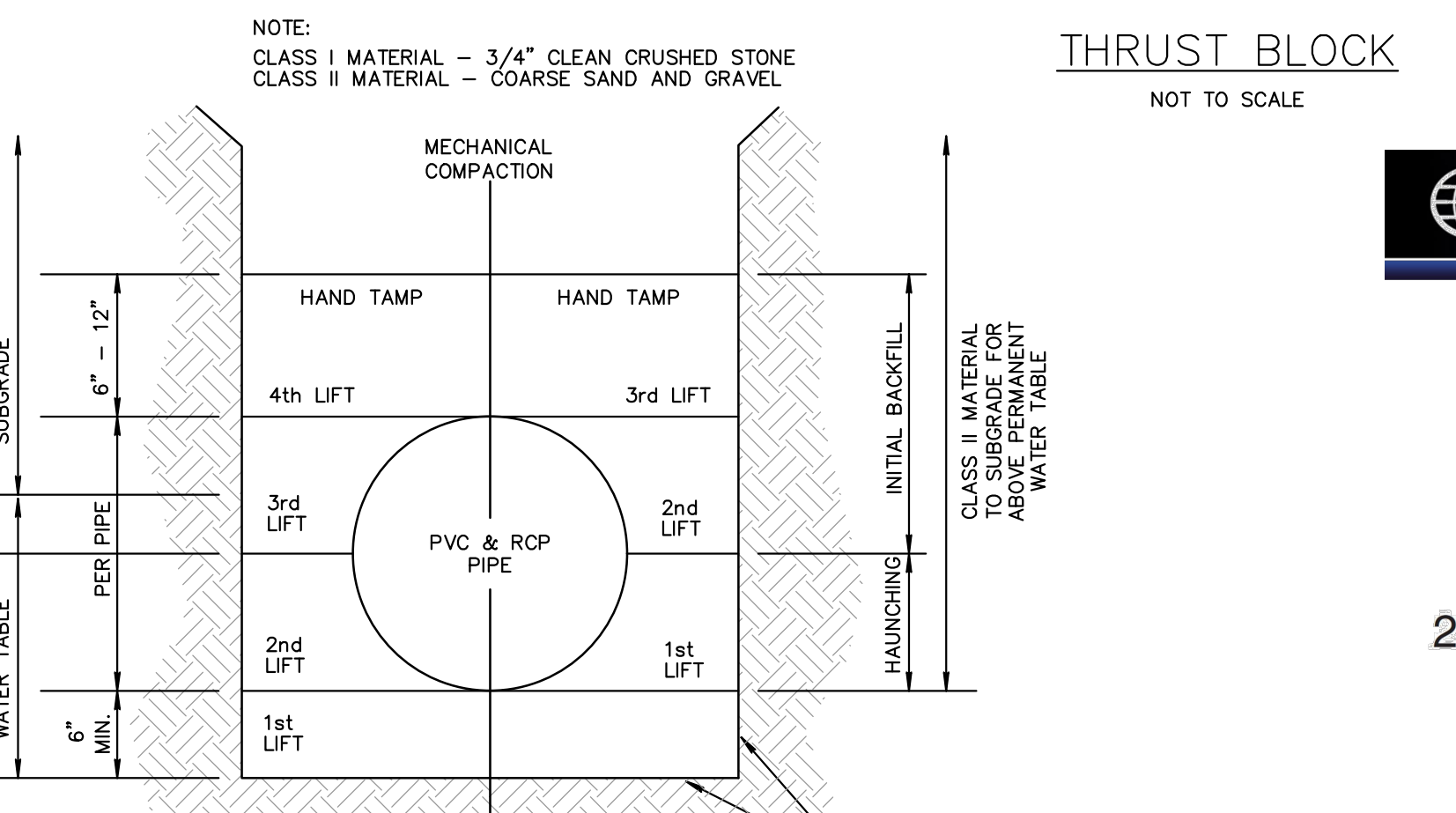
TYPICAL STUB FOR FUTURE CONNECTION

NOT TO SCALE



THRUST BLOCK

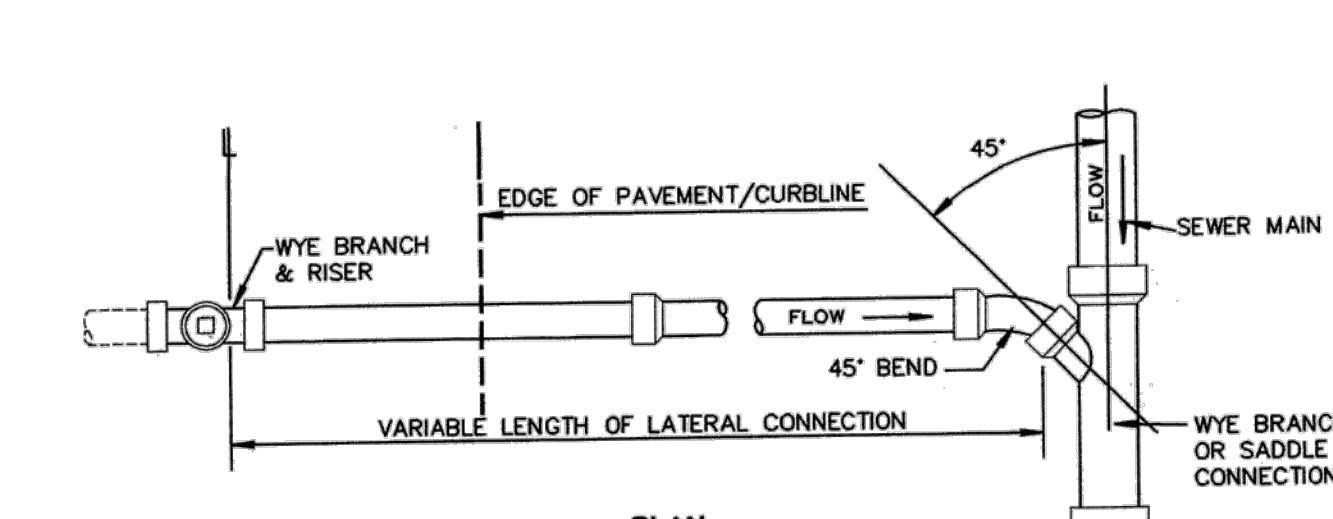
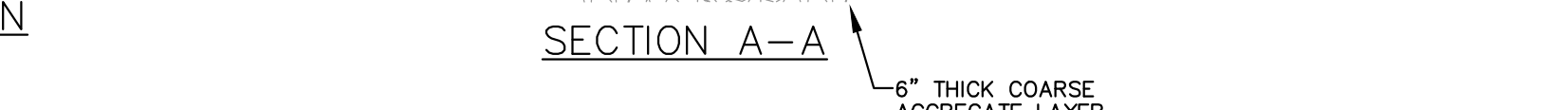
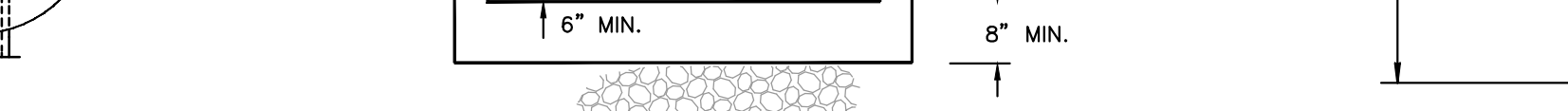
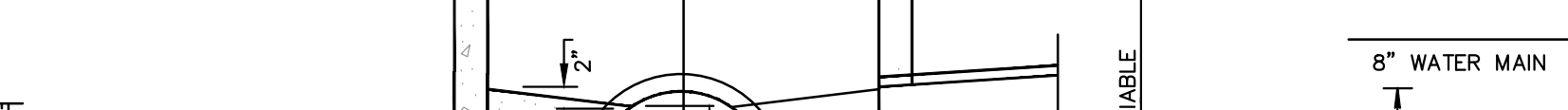
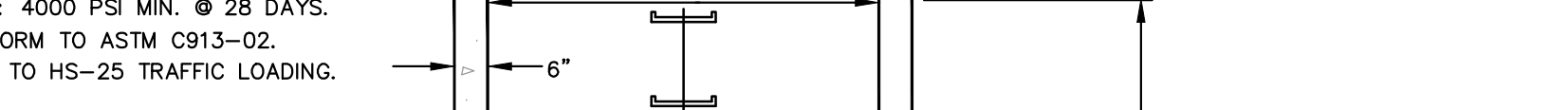
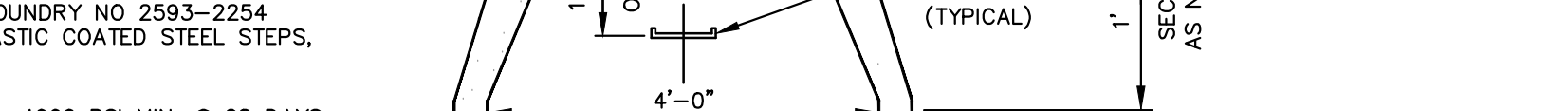
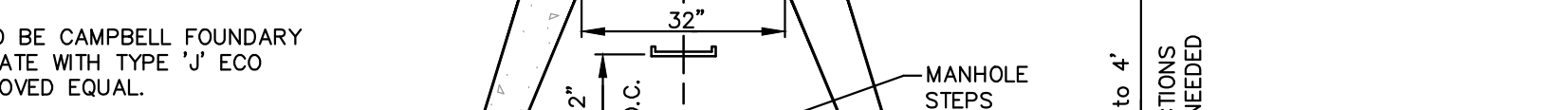
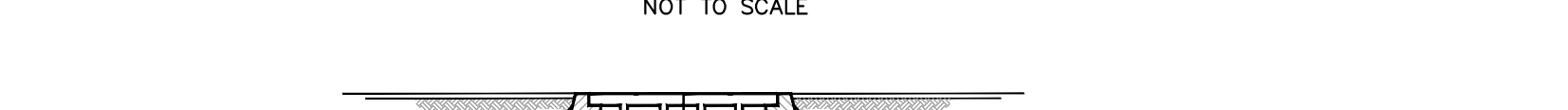
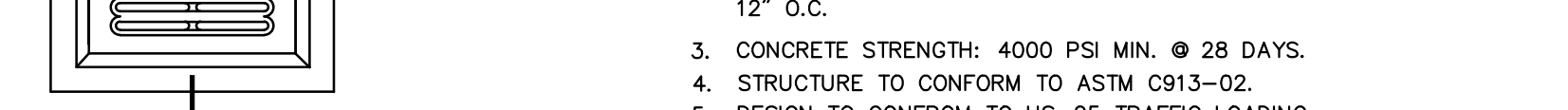
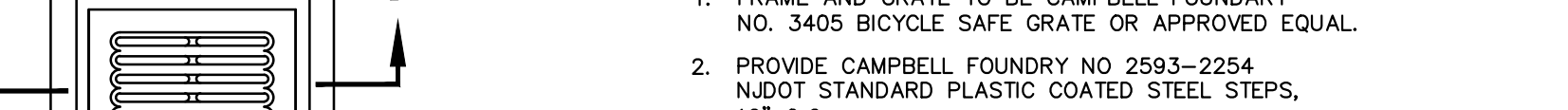
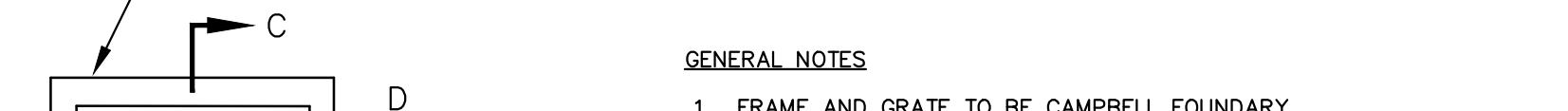
NOT TO SCALE



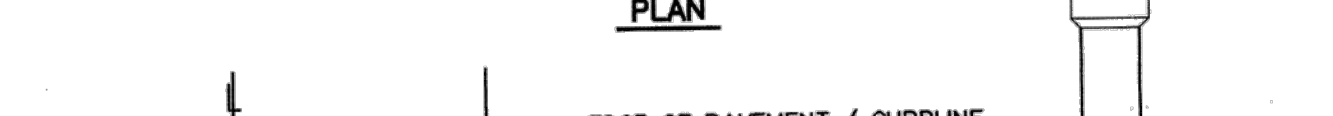
PIPE BEDDING DETAIL

NOT TO SCALE

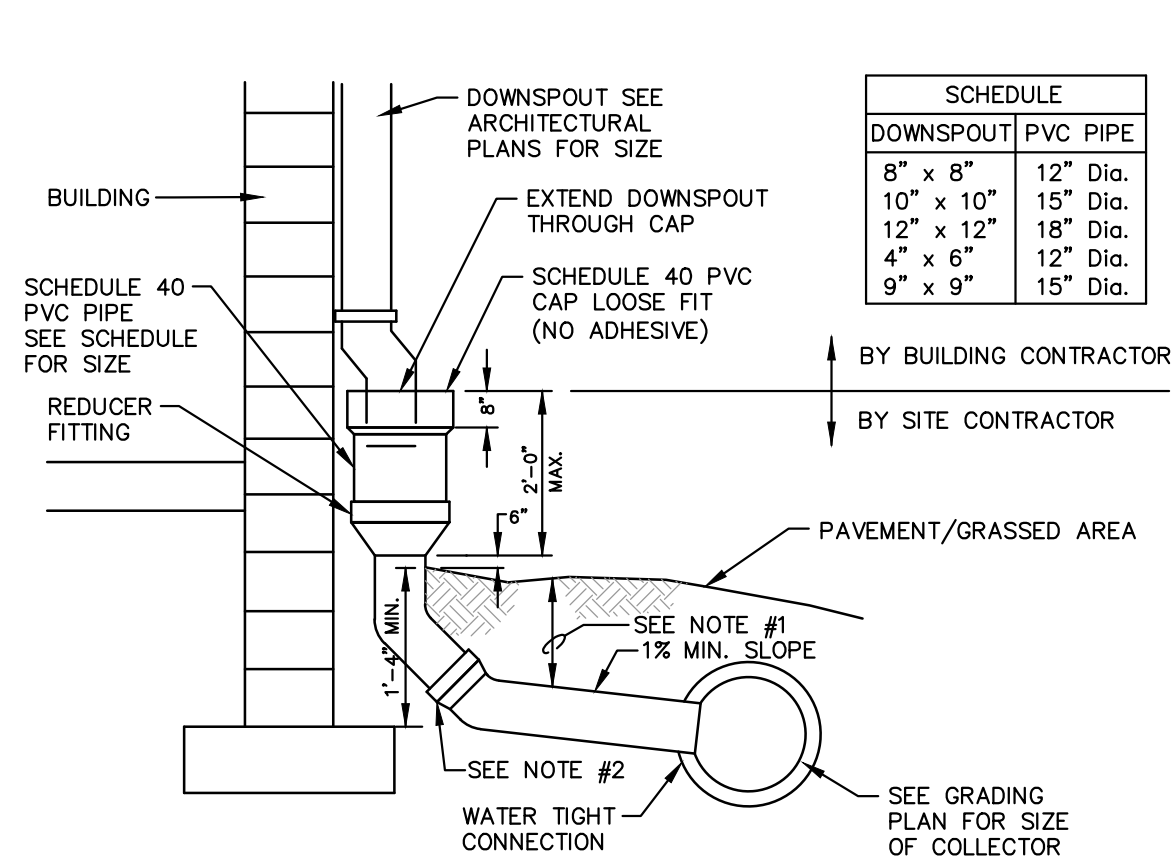
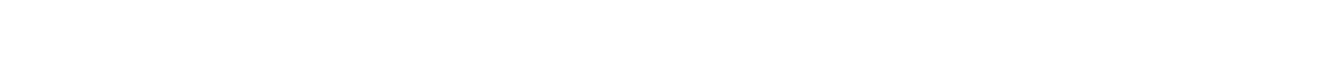
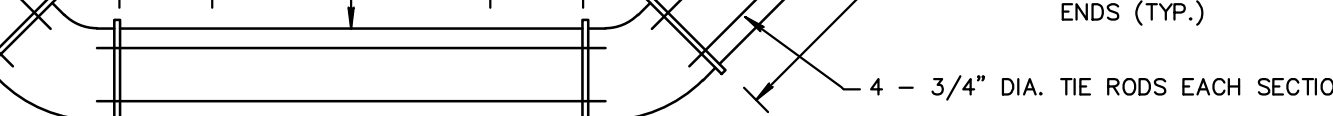
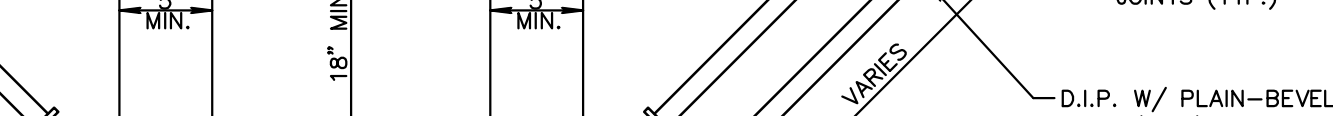
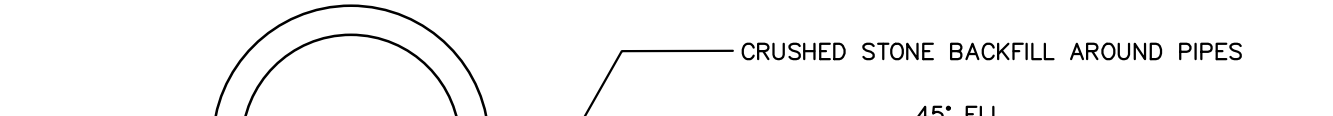
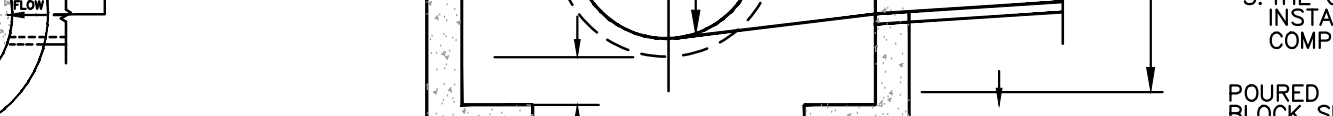
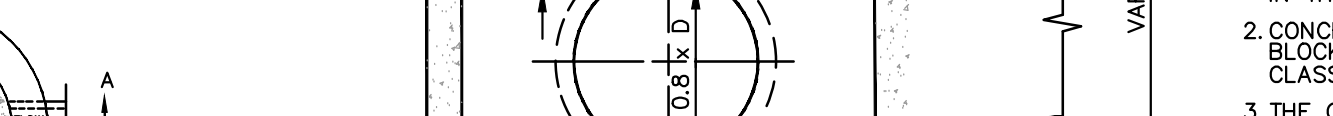
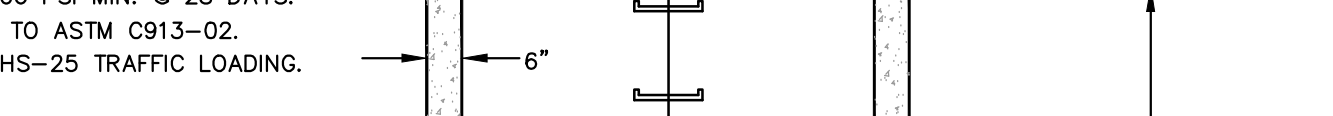
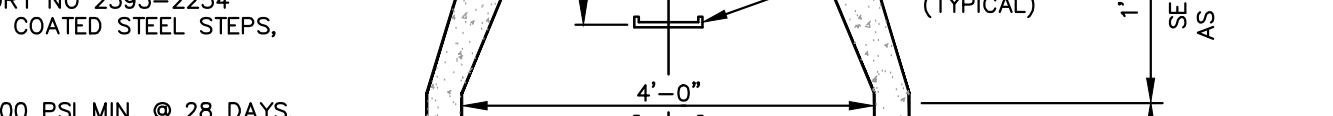
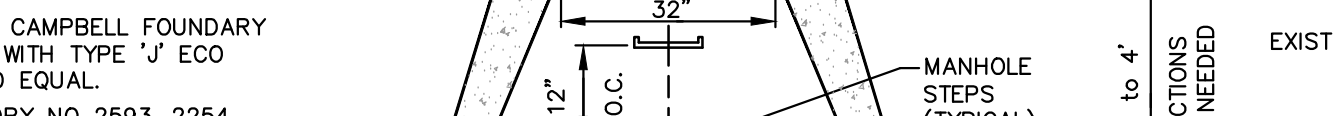
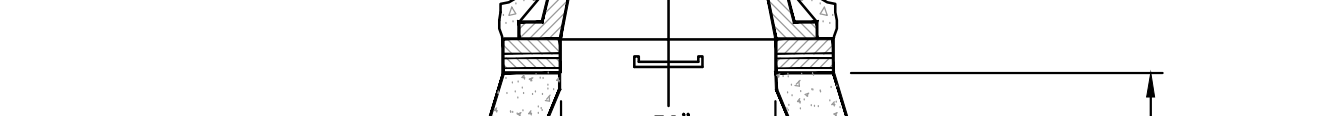
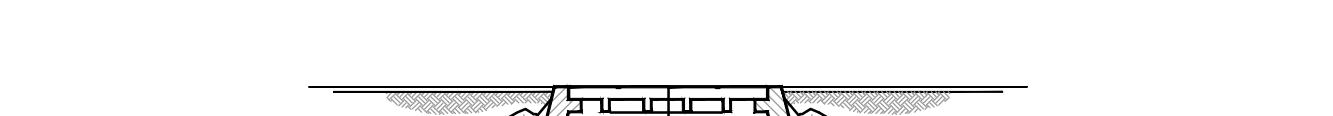
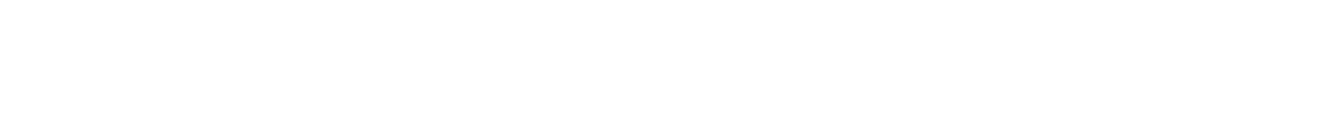
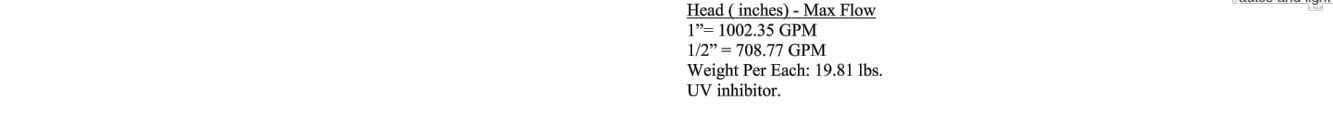
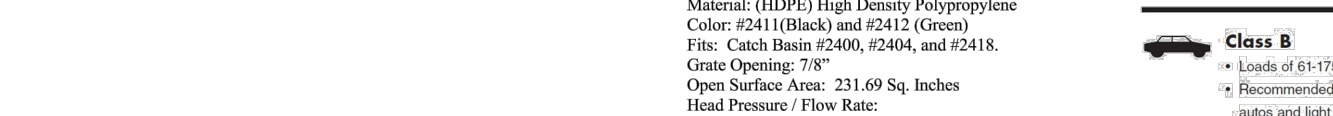
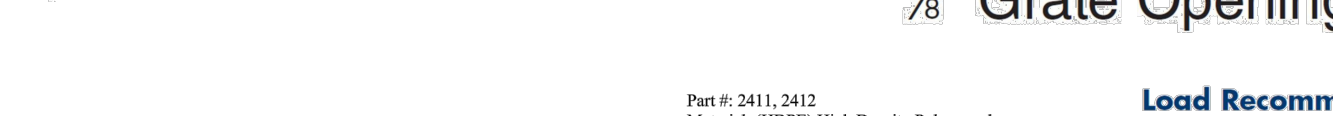
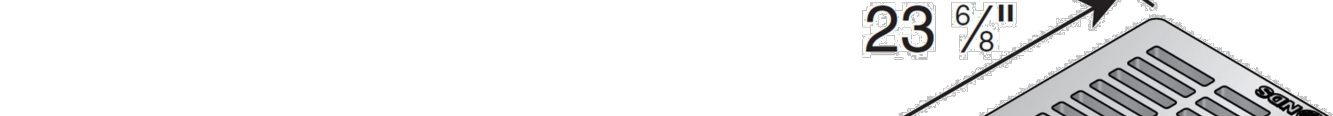
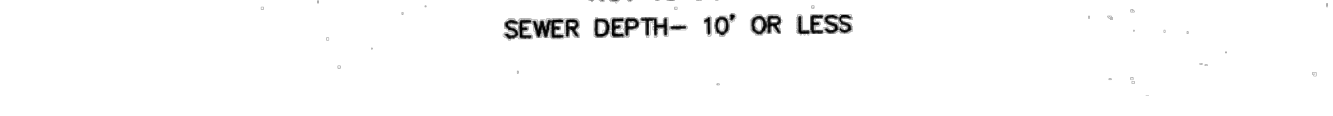
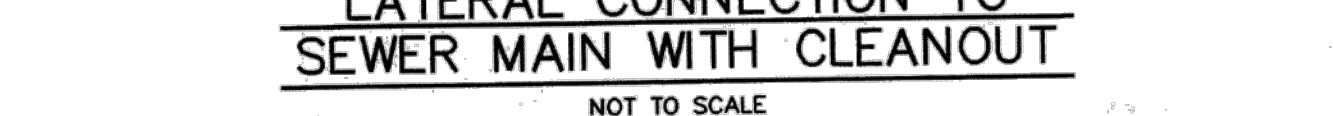
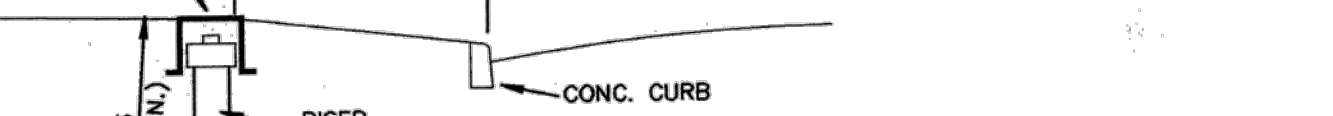
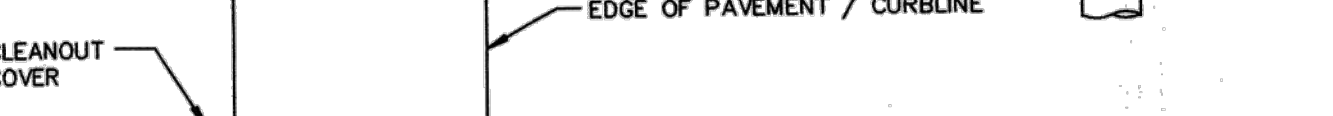
NOTE:
1. CLASS II MATERIAL SHALL BE DENSE GRADED AGGREGATE (DGA).
2. ALL RCP PIPE SHALL BE CLASS III WALL, BELL, AND SPIGOT TYPE UNLESS OTHERWISE SPECIFIED.
3. ALL PVC PIPE TO BE SDR-35 UNLESS OTHERWISE SPECIFIED.



PLAN



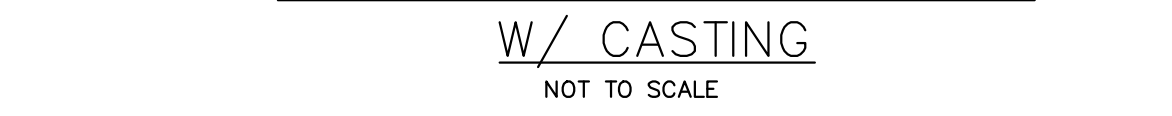
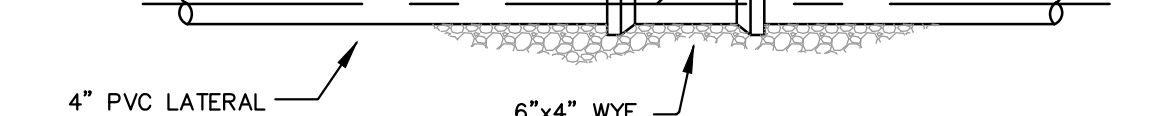
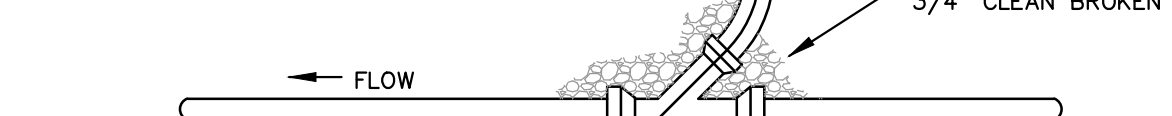
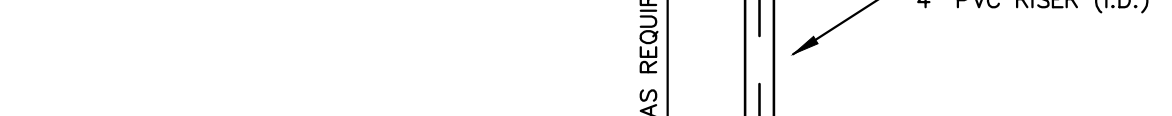
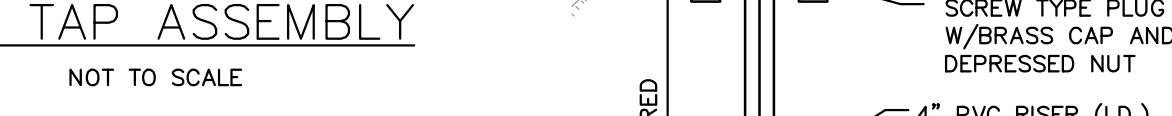
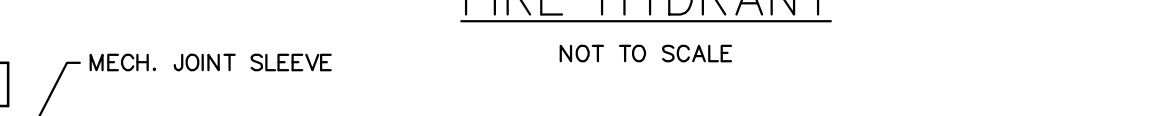
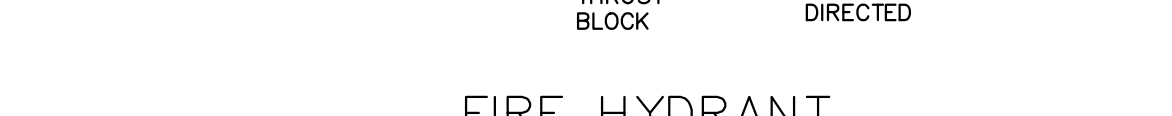
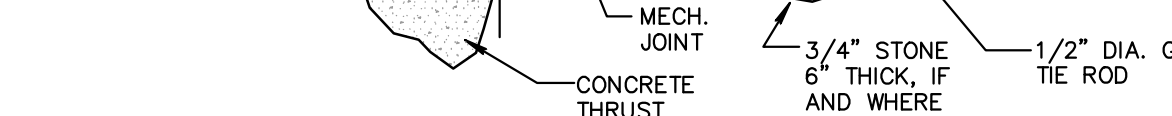
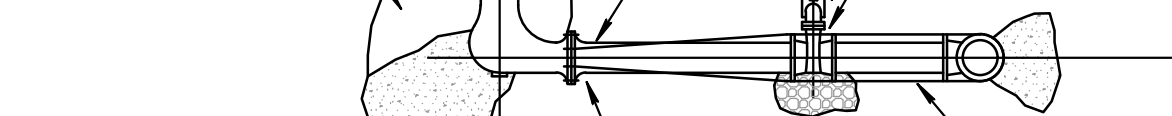
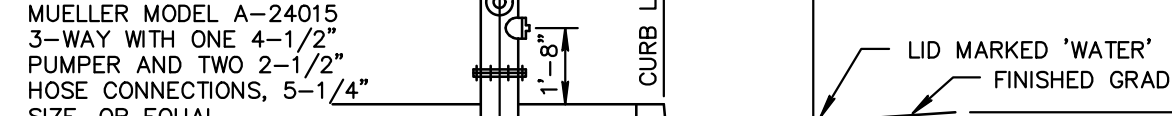
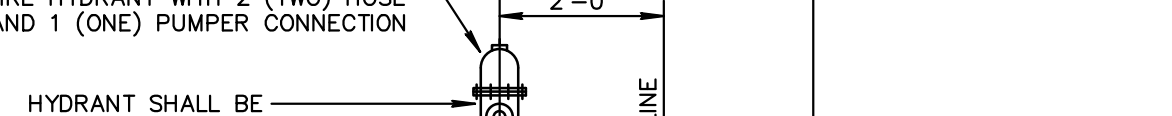
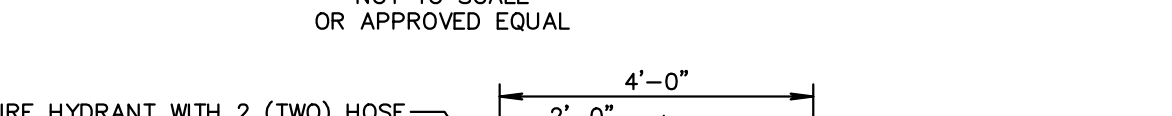
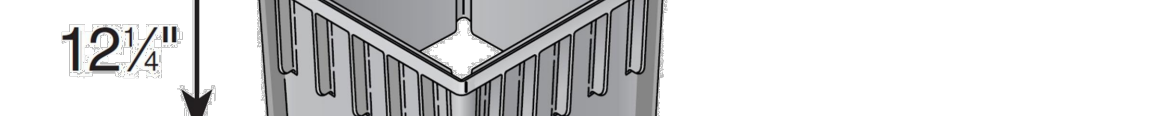
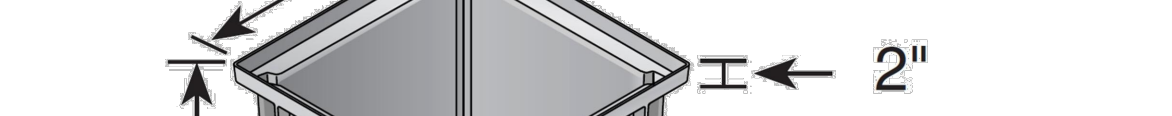
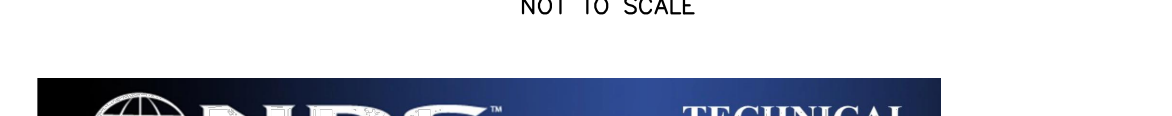
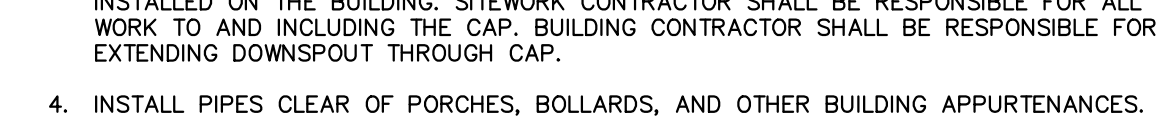
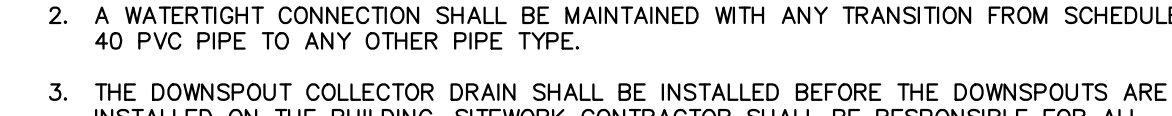
ELEVATION



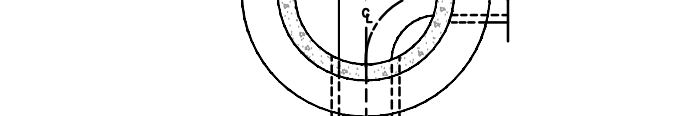
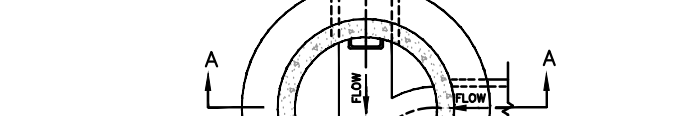
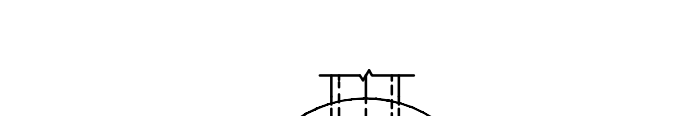
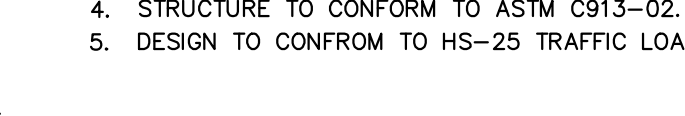
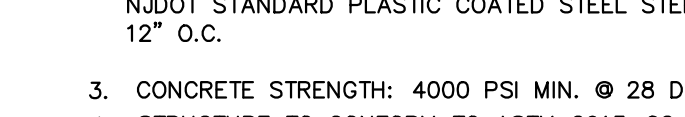
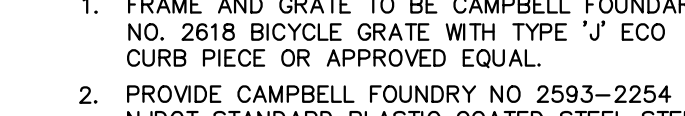
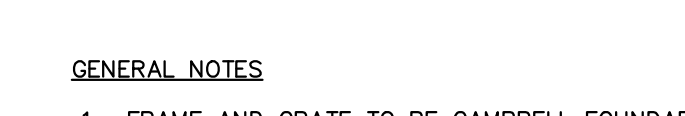
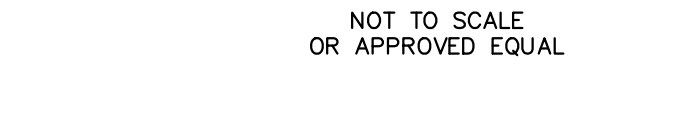
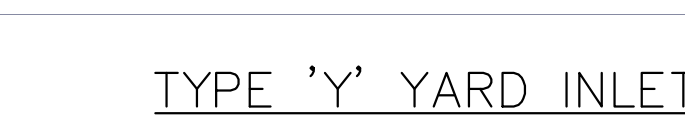
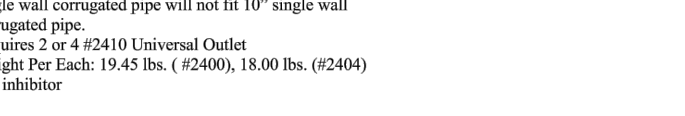
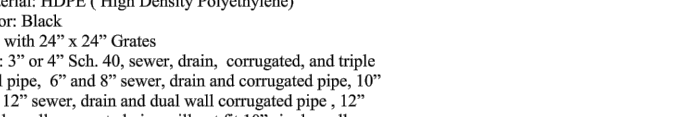
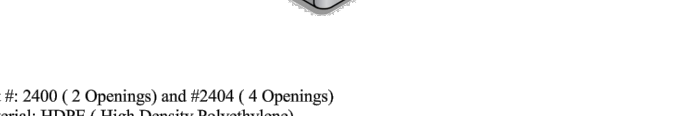
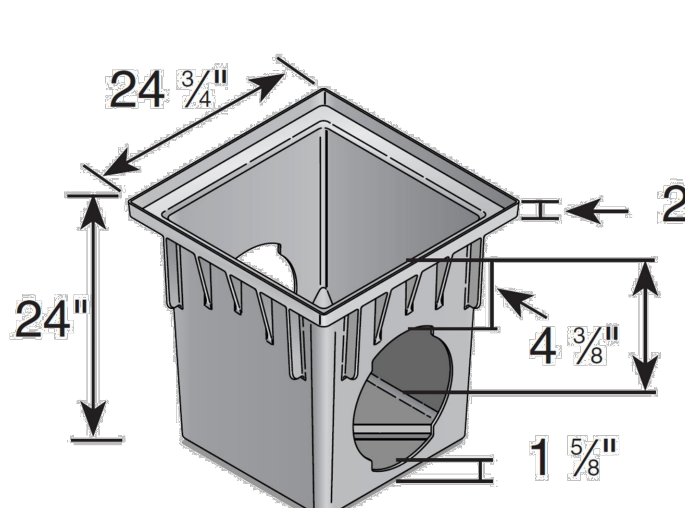
EXTERIOR DOWNSPOUT COLLECTOR

NOT TO SCALE

NOTES:
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. STEWART CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE CAP. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR EXTENDING DOWNSPOUT THROUGH CAP.
4. INSTALL PIPES CLEAR OF PORCHES, BOLLARDS, AND OTHER BUILDING APPURTENANCES.



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